

AGENDA
Mansfield Conservation Commission
Regular Meeting
Wednesday, April 17, 2013
Audrey P. Beck Building
CONFERENCE ROOM B
7:30 PM

1. Call to Order

2. Roll Call

3. Opportunity for Public Comment

4. Minutes

- a. March 20, 2013

5. New Business

- a. IWA Referral: W1514 –Woodland Rd Subdivision Lot re-issuance of expired permit
W1515 – Lowe – Puddin Lane – above ground pool in buffer
W1516 – Town of Mansfield – BiCentennial Pond – Trail Project
- b. PZC Referral: Pre-Application Review: 574-596 Middle Turnpike
- c. Other

6. Continuing Business

- a. Membership
- b. Mansfield Tomorrow | Our Plan ► Our Future
- c. Water Source Study for the Four Corners Area/Environmental Impact Evaluation (EIE)
- d. Swan Lake Discharge Mirror Lake Dredging and other UConn Drainage Issues
- e. UConn Agronomy Farm Irrigation Project
- f. Eagleville Brook Impervious Surface TMDL Project
- g. UConn Hazardous Waste Transfer Station
- h. Ponde Place Student Housing Project
- i. CL&P "Interstate Reliability Project"
- j. Protecting Dark Skies in the Last Green Valley
- k. Other

7. Communications

- a. Minutes
 - Open Space (3/20/13)
 - PZC (3/18/13 & 4/1/13)
 - IWA (4/1/13)
- b. Inland Wetlands Agent Monthly Business Report
- c. Connecticut Federation of Lakes
- d. DEEP Notice re: UConn -Sewer Plant Discharge renewal
- e. DEEP Notice re: UConn-North Hillside Road
- f. Joshua's Tract Spring 2013 Newsletter
- g. Other

8. Other

9. Future Agendas

10. Adjournment

Town of Mansfield
CONSERVATION COMMISSION
Meeting of 20 March 2013
Conference B, Audrey P. Beck Building
(draft) MINUTES

Members present: Aline Booth (Alt.), Peter Drzewiecki, Neil Facchinetti, Quentin Kessel, Michael Soares. *Members absent:* Joan Buck (Alt.), Robert Dahn, Scott Lehmann, John Silander. *Others present:* Linda Painter (Town Planner); Jennifer Kaufman (Mansfield Tomorrow Project Manager); Ken Feathers, Jim Morrow, and Vicky Wetherell (Open Space Preservation Committee (OSPC)).

1. The meeting was **called to order** at 7:33p by Chair Quentin Kessel. The Chair appointed Booth to be a voting member for the meeting.
2. The **draft minutes** of the 19 December 2012 and February 30, 2013 were moved on a motion by Facchinetti and seconded by Booth. The motion passed.
3. **IWA referrals.** There were no referrals.
4. **Membership.** After many years of service, including service as chair of the Mansfield Conservation, Robert Dahn has indicated a wish to step down. Kessel asked members to make recommendations if they knew of appropriate residents of Mansfield who might like to serve on the Commission.
5. Under New Business, other, it was agreed to consider a plan for a trail around Bicentennial Pond. This was presented by Kaufman, who is approaching the Town Council to seek support for this project. Facchinetti moved, and Booth seconded the statement that, "The CC supports the construction of a universal access trail around Bicentennial Pond." The motion passed unanimously.
6. **Mansfield Tomorrow project.** Linda Painter and Project Manager Jennifer Kaufman led a discussion/brainstorming session on the Mansfield Tomorrow project. There was a general discussion of what constitutes a neighborhood and how the POCD and the subsequent zoning regulations might keep rural areas rural, but yet encourage friendly, interactive and cohesive neighborhoods. Walkable trails and roads were seen as being important. Conservation subdivisions, in which houses are clustered in order to preserve open space and forests also ranked high. Painter noted that some towns require conservation subdivisions, and members of the commission generally felt this would be a good approach. Painter noted that often a developer coming to Mansfield faces too many options and that many would be pleased to be presented with firmer guidelines, e.g., the automatic utilization of conservation subdivisions where practicable. Facchinetti has agreed to serve on the Mansfield Tomorrow Housing Focus Group. The CC is still looking for a member to serve on the Economic Development Focus Group. It is important to have a representative in the group who can elucidate the economic benefit of "Green Living," including the value of farms and forests in the protection of clean water and air.
7. **Adjourned** at 8:45 P.M.. Next meeting: 7:30p, Wednesday, 17 April 2013.

Quentin Kessel, Acting Secretary

PAGE
BREAK

Memorandum:

March 28, 2013

To: Inland Wetland Agency
From: Grant Meitzler, Inland Wetland Agent
Re: New Business for April 1, 2013 meeting

New Applications:

W1514 - South Windham Post & Beam Co. - Woodland Rd

	yes	no
	-----	-----
fee paid	x	
notice to neighbors	x	
map dated	April 28, 2005	

This application is for re-issuance of a permit for a subdivision lot whose original permit has passed the 10 year limit. The applicant has provided copies of earlier approvals and the plan submitted is the one last in effect. A new permit is now required.

Receipt and referral to the Conservation Commission are appropriate.

W1515 - Lowe - 86 Puddin Lane - above ground pool with deck

	yes	no
	-----	-----
fee paid	x	
notice to neighbors	x	
map dated	Sept. 1960	

This application is for an above ground pool with deck that is within the 150' regulated area next to the Sawmill Brook.

Receipt and referral to the Conservation Commission are appropriate.

Request for Exemption:

W1516 - Town of Mansfield - BiCentennial Pond Trail Project,

	yes	no
	-----	-----
fee paid	n.a.	
notice to neighbors	n.a.	

map dated March 1, 2013

This request is for new trail construction, revisions to existing trail sections, and removal of trail at some locations. A trail system of moderate grade will be created surrounding the present pond. Most of the trail system is within the 150' regulated areas next to wetlands. Actual involvement with wetlands are limited.

The wetlands regulations provide for an "outdoor recreation" exemption in Section 4 provided the natural and indigenous character of the wetland is not disturbed.

I suggest a field trip to better understand the potential impacts from this proposal. This application can still be considered as an exemption request but adding a field trip will delay a decision until i May 6, 2013 or a Special Meeting on April 15, 2013.

APPLICATION FOR PERMIT
MANSFIELD INLAND WETLANDS AGENCY
4 SOUTH EAGLEVILLE ROAD, STORRS, CT 06268
TEL: 860-429-3334 OR 860-429-3330
FAX: 860-429-6863

FOR OFFICE USE ONLY
File # 1514
Fee Paid \$185-
Date Received 3-21-13

Applicants are referred to the Mansfield Inland Wetlands and Watercourses Regulations for complete requirements, and are obligated to follow them. For assistance, please contact Grant Meitzler, Inland Wetlands Agent at the telephone numbers above.

Please print or type or use similar format for computer; attach additional pages as necessary.

Part A - Applicant

Name SOUTH WINDHAM POST & BEAM Co

Mailing Address 75 Pigeon Swamp Rd
Lebanon CT Zip 06249

Telephone-Home 860 377 1553 Telephone-Business 860 456 2852

Title and Brief Description of Project

Renewal of wetlands permit

Location of Project Woodland Rd, Mansfield (see map)

Intended Start Date March 2013

Part B - Property Owner (if applicant is the owner, just write "same")

Name ALEX NISHBALL

Mailing Address SAME

Zip _____

Telephone-Home _____ Telephone-Business _____

Owner's written consent to the filing of this application, if owner is not the applicant:

Signature _____ date _____

Applicant's interest in the land: (if other than owner) _____

Part C - Project Description (attach extra pages, if necessary)

1) Describe in detail the proposed activity here or on an attached page. (See guidelines at end of application - page 6.)

Please include a description of all activity or construction or disturbance:

- a) in the wetland/watercourse
- b) in the area adjacent to (within 150 feet from the edge of) the wetland/watercourse, even if wetland/watercourse is off your property

This application is for ~~the~~ renewal of expired 5 year, previously approved wetlands permit.

2) Describe the amount or area of disturbance (in square feet or cubic yards or acres):

- a) in the wetland/watercourse
- b) in the area adjacent to (within 150 feet from the edge of) the wetland/watercourse, even if wetland/watercourse is off your property

a) none

b) house and driveway excavation and landscaping around new house site

3) Describe the type of materials you are using for the project: on site material and driveway gravel as needed

a) include type of material used as fill or to be excavated bank run gravel

b) include volume of material to be filled or excavated n/a

4) Describe measures to be taken to minimize or avoid any adverse impacts on the wetlands and regulated areas (silt fence, staked hay bales or other Erosion and Sedimentation control measures).

silt fence to be installed adjacent to any wetlands

Part D - Site Description

Describe the general character of the land. (Hilly? Flat? Wooded? Well drained? etc.)

wooded, sloping, southeast facing land

Part I - Additional Notices, if necessary

- 1) Notice to Windham Water Works is attached. If this application is in the public watershed for the Windham Water Works (WWW), you must notify the WWW of your project within 7 days of sending the application to Mansfield--sending it by certified mail, return receipt requested. Contact the Mansfield Inland Wetlands Agent to find out if you are in this watershed.
- 2) Notice to Adjoining Town. If your property is within 500 feet of an adjoining town, you must also send a copy of the application, on the same day you sent one to Mansfield, to the Inland Wetlands Agency of the adjoining town, by certified mail, return receipt requested.
- 3) The Statewide Reporting Form (attached) shall be part of the application and specified parts must be completed and returned with this application.

Part J - Other Impacts To Adjoining Towns, if applicable

- 1) Will a significant portion of the traffic to the completed project on the site use streets within the adjoining municipality to enter or exit the site? ___ Yes ___ No ___ Don't Know
- 2) Will sewer or water drainage from the project site flow through and impact the sewage or drainage system within the adjoining municipality? ___ Yes ___ No ___ Don't Know
- 3) Will water run-off from the improved site impact streets or other municipal or private property within the adjoining municipality? ___ Yes ___ No ___ Don't Know

Part K - Additional Information from the Applicant

Set forth (or attach) any other information which would assist the Agency in evaluating your application. *(Please provide extra copies of any lengthy documents or reports, and extra copies of maps larger than 8.5" x 11", which are not easily copied.)*

Part L - Filing Fee

Submit the appropriate filing fee. (Consult Wetlands Agent for the fee schedule available in the Mansfield Inland Wetlands and Watercourses Regulations.)

___ \$1,000. ___ \$750. ___ \$500. ___ \$250. ✓ \$125. ___ \$100. ___ \$50. ___ \$25.

✓ \$60 State DEP Fee

Note: The Agency may require you to provide additional information about the regulated area which is the subject of the application, or about wetlands or watercourses affected by the regulated activity. If the Agency, upon review of your application, finds the activity proposed may involve a "significant activity" as defined in the Regulations, additional information and/or a public hearing may be required.

The undersigned applicant hereby consents to necessary and proper inspections of the above mentioned property by members and agents of the Inland Wetlands Agency, at reasonable times, both before and after the permit in question has been granted by the Agency.

X [Signature]
Applicant's Signature

3/21/13
Date



TOWN OF MANSFIELD
INLAND WETLAND AGENCY

AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
STORRS, CONNECTICUT 06268
(203) 429-3334

June 20, 2005

So. Windham Post & Beam Co., LLC
75 Pigeon Swamp Rd.
Lebanon, CT 06249

Re: Renewal of Mansfield Wetlands License (W1303) for alternate house site location,
Woodland Rd., Mansfield

Gentlemen:

At a regular meeting held on June 6, 2005, the Mansfield Inland Wetland Agency adopted the following motion:

"to grant an Inland Wetlands license under Section 5 of the Wetlands and Watercourses Regulations of the Town of Mansfield to South Windham Post & Beam Co., LLC (file W1303) for permit renewal and alternate site location for a single-family home on property owned by Alex Nishball on Woodland Road, as shown on a map dated 4/28/05 (a sketch plan drawn over an original subdivision map) and as described in other application submissions. This action is based on a finding of no anticipated significant impact on the wetlands, and is conditioned upon the following provisions being met:

1. Appropriate erosion and sedimentation controls shall be in place prior to construction and maintained during construction, and removed when disturbed areas are completely stabilized;
2. Silt fence protection shall be installed along the first 200 feet of the driveway, on the downhill side;
3. Final grading and seeding shall be done immediately on completion of the rough-grading of the driveway, rather than waiting for the completion of the site work. This is to limit erosion;
4. This approval is valid for a period of five years (until 6/6/10), unless additional time is requested by the applicant and granted by the Inland Wetland Agency. The applicant shall notify the Wetlands Agent before any work begins, and all work shall be completed as soon as possible. Any extension of the activity period shall come before this agency for further review and comment."

If you have any questions regarding this action, you may contact Wetlands Agent Grant Meitzler at 860-429-3334. This letter constitutes your License.

Very truly yours,

Katherine K. Holt, Secretary
Mansfield Inland Wetland Agency



TOWN OF MANSFIELD
INLAND WETLAND AGENCY
2 052 335 620
AUDREY P. BECK BUILDING
FOUR SOUTH EAGLEVILLE ROAD
STORRS, CONNECTICUT 06268
(203) 429-3334

August 6, 1999

Alvaro Bizzicari
210 Woodland Road
Mansfield, Connecticut 06268

Re: Approval of request for Section 5 IWA license "Victory Heights" 3-lot subdivision,
Woodland Road, Mansfield, IWA file W1055

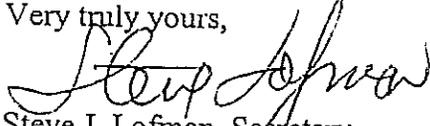
At a regular meeting on August 6, 1999, the Mansfield Inland Wetland Agency approved the following motion:

"to grant an Inland Wetland License under Section 5 of the Wetlands and Watercourses Regulations of the Town of Mansfield to Alvaro Bizzicari (file W1055) for a 3-lot subdivision within regulated areas on property owned by the applicant located near 246 Woodland Road, in an RAR-90 zone, as shown on a map dated 6/30/99, and as described in other application submissions. This action is based on a finding of no anticipated significant impact on the wetlands, and conditioned upon the following provisions being met:

1. The appropriate erosion and sedimentation controls shall be in place prior to construction, maintained during construction, and removed when disturbed areas are completely stabilized;
2. This approval is valid for a period of five years (until 8/2/04), unless additional time is requested by the applicant and granted by the Inland Wetland Agency. The applicant shall notify the Wetlands Agent before any work begins, and all work shall be completed within one year. Any extension of the activity period shall come before this agency for further review and comments."

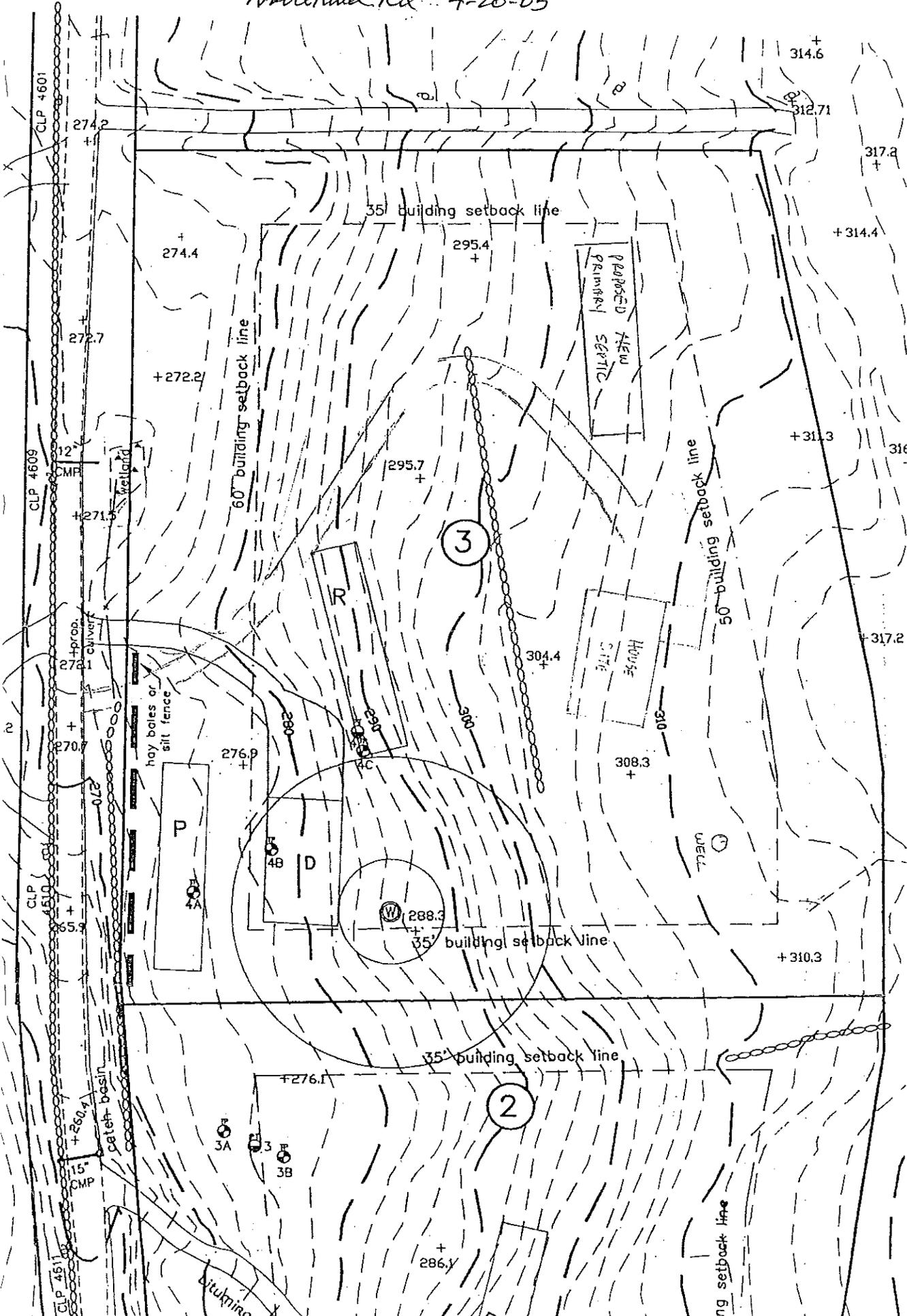
If you have any questions regarding this action, you may contact Wetlands Agent Grant Meitzler at 860-429-3334. This letter constitutes your license.

Very truly yours,


Steve J. Lofman, Secretary
Mansfield Inland Wetland Agency

cc: C. R. Ferguson

South Windham Post and Beam
Woodland Rd. 4-28-05



APPLICATION FOR PERMIT
MANSFIELD INLAND WETLANDS AGENCY
4 SOUTH EAGLEVILLE ROAD, STORRS, CT 06268
TEL: 860-429-3334 OR 860-429-3330
FAX: 860-429-6863

FOR OFFICE USE ONLY
File # W1515
Fee Paid 3185⁰⁰
Date Received 3-26-13

Applicants are referred to the Mansfield Inland Wetlands and Watercourses Regulations for complete requirements, and are obligated to follow them. For assistance, please contact Grant Meitzler, Inland Wetlands Agent at the telephone numbers above.

Please print or type or use similar format for computer; attach additional pages as necessary.

Part A - Applicant

Name Christopher and Ellen Lowe

Mailing Address 86 Puddin Lane

Mansfield CT Zip 06250

Telephone-Home 860-450-0459 Telephone-Business 860-933-4362

Title and Brief Description of Project
installation of above ground pool

Location of Project _____

Intended Start Date 5/6/13

Part B - Property Owner (if applicant is the owner, just write "same")

Name same

Mailing Address _____

_____ Zip _____

Telephone-Home _____ Telephone-Business _____

Owner's written consent to the filing of this application, if owner is not the applicant:

Signature _____ date _____

Applicant's interest in the land: (if other than owner) _____

Part C - Project Description (attach extra pages, if necessary)

1) Describe in detail the proposed activity here or on an attached page. (See guidelines at end of application - page 6.)

Please include a description of all activity or construction or disturbance:

- a) in the wetland/watercourse
- b) in the area adjacent to (within 150 feet from the edge of) the wetland/watercourse, even if wetland/watercourse is off your property

installation of aboveground pool 27ft circular.

2) Describe the amount or area of disturbance (in square feet or cubic yards or acres):

- a) in the wetland/watercourse
- b) in the area adjacent to (within 150 feet from the edge of) the wetland/watercourse, even if wetland/watercourse is off your property

circular pool 27ft.

3) Describe the type of materials you are using for the project: aluminum, vinyl, water

- a) include type of material used as fill or to be excavated _____
 - b) include volume of material to be filled or excavated _____
-

4) Describe measures to be taken to minimize or avoid any adverse impacts on the wetlands and regulated areas (silt fence, staked hay bales or other Erosion and Sedimentation control measures).

natural vegetation including trees, shrubs, boulders
Additional bushes + grass planted

Part D - Site Description

Describe the general character of the land. (Hilly? Flat? Wooded? Well drained? etc.)

Flat, minimal slope down to river, well drained

Part E - Alternatives

Have you considered any alternatives to your proposal that would meet your needs and might have less impact on the wetland/watercourse? Please list these alternatives.

Yes, far behind house in back corner of property.

Part F - Map/Site Plan (all applications)

- 1) Attach to the application a map or site plan showing existing conditions and the proposed project in relation to wetland/ watercourses. Scale of map or site plan should be 1" = 40'; if this is not possible, please indicate the scale that you are using. A sketch map may be sufficient for small, minor projects. (See guidelines at end of application – page 6.)
- 2) Applicant's map date and date of last revision _____
- 3) Zone Classification _____
- 4) Is your property in a flood zone? Yes No Don't Know

Part G - Major Applications Requiring Full Review and a Public Hearing
See Section 6 of the Mansfield Regulations for additional requirements.

Part H - Notice to Abutting Property Owners

- 1) List the names and addresses of abutting property owners

Name	Address
Christopher + Susan Swift	112 Puddin Lane
Choi Yong Park	76 Puddin Lane
Brian + Monique Roy	9 Sawmill Brook lane
Christopher + Susan Swift Yan Wu	15 Sawmill Brook lane
Gordon Allan	25 Sawmill Brook lane

- 2) **Written Notice to Abutters.** You must notify abutting property owners by certified mail, return receipt requested, stating that a wetland application is in progress, and that abutters may contact the Mansfield Inland Wetlands Agent for more information. Include a brief description of your project. Postal receipts of your notice to abutters must accompany your application. (This is not needed for exemptions).

Part I - Additional Notices, if necessary

- 1) Notice to Windham Water Works is attached. If this application is in the public watershed for the Windham Water Works (WWW), you must notify the WWW of your project within 7 days of sending the application to Mansfield--sending it by certified mail, return receipt requested. Contact the Mansfield Inland Wetlands Agent to find out if you are in this watershed.
- 2) Notice to Adjoining Town. If your property is within 500 feet of an adjoining town, you must also send a copy of the application, on the same day you sent one to Mansfield, to the Inland Wetlands Agency of the adjoining town, by certified mail, return receipt requested.
- 3) The Statewide Reporting Form (attached) shall be part of the application and specified parts must be completed and returned with this application.

Part J - Other Impacts To Adjoining Towns, if applicable

- 1) Will a significant portion of the traffic to the completed project on the site use streets within the adjoining municipality to enter or exit the site? ___ Yes ___ No ___ Don't Know
- 2) Will sewer or water drainage from the project site flow through and impact the sewage or drainage system within the adjoining municipality? ___ Yes ___ No ___ Don't Know
- 3) Will water run-off from the improved site impact streets or other municipal or private property within the adjoining municipality? ___ Yes ___ No ___ Don't Know

Part K - Additional Information from the Applicant

Set forth (or attach) any other information which would assist the Agency in evaluating your application. *(Please provide extra copies of any lengthy documents or reports, and extra copies of maps larger than 8.5" x 11", which are not easily copied.)*

Part L - Filing Fee

Submit the appropriate filing fee. (Consult Wetlands Agent for the fee schedule available in the Mansfield Inland Wetlands and Watercourses Regulations.)

___ \$1,000. ___ \$750. ___ \$500. ___ \$250. ✓ \$125. ___ \$100. ___ \$50. ___ \$25.

✓ \$60 State DEP Fee

Note: The Agency may require you to provide additional information about the regulated area which is the subject of the application, or about wetlands or watercourses affected by the regulated activity. If the Agency, upon review of your application, finds the activity proposed may involve a "significant activity" as defined in the Regulations, additional information and/or a public hearing may be required.

The undersigned applicant hereby consents to necessary and proper inspections of the above mentioned property by members and agents of the Inland Wetlands Agency, at reasonable times, both before and after the permit in question has been granted by the Agency.

X

Applicant's Signature

Date

GUARNACCIA

WILLIS & GRACE HOMER

I.P. (Found)

BROOK

Iron Pipe and stones (Found)

523.29 E

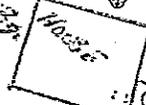
92°35'30"

187°44'19"30"

350'

701

5.47 ACRES



SEPTIC TANK

SIX 50' W.P.

R. A. & S. M. DOLE



C. W. & L. B. MOELLER

S 23°30' W 583.17 ±



I.P. (SET) 207.91 E

155°51'

146.64 E

LANE

CATCH BASIN

APPROVED

MANSFIELD

PLANNING & ZONING COMMISSION

By *Dignard Blair #114*

Date *Dec 21 1960*

Reused 3-26-13

33' EAST END OF WINGWALL TO I. PIPE.

Parcel Conveyed to SAMUEL & ANNE DODD by

C. T. & W. M. ATWOOD

TOWN OF MANSFIELD, CONNECTICUT

SCALE 1 INCH = 100 FEET SEPT. 1960

JACK E. STEPHENS, R.L.S., STORRS, CONN.

I certify this map substantially correct. *Jack E. Stephens*

Wetlands - Grant 929-8884

APPLICATION FOR PERMIT
MANSFIELD INLAND WETLANDS AGENCY
4 SOUTH EAGLEVILLE ROAD, STORRS, CT 06268
TEL: 860-429-3334 OR 429-3330
FAX: 860-429-6863

FOR OFFICE USE
ONLY
File # _____

W _____

Fee Paid _____

Official Date of Receipt _____

REQUEST FOR EXEMPTION

Applicants are referred to the Mansfield Inland Wetlands and Watercourses Regulations for complete requirements, and are obligated to follow them. For assistance, please contact Grant Meitzler, Inland Wetlands Agent at the telephone numbers above.

Please print or type or use similar format for computer; attach additional pages as necessary.

Part A - Applicant

Name Town of Mansfield Parks and Recreation

Mailing Address 10 South Eagleville Road, Mansfield CT 06268

Telephone-Home NA Telephone-Business 860-429-3015x204

Title and Brief Description of Project Construction of a Universal Access Trail around Bicentennial Pond

Location of Project Bicentennial Pond/Schoolhouse Brook Park

Intended Start Date Fall 2013 (Depends on Grant)

Part B - Property Owner (if applicant is the owner, just write "same")

Name Same

Mailing Address _____

Zip _____

Telephone-Home _____ Telephone-Business _____

Owner's written consent to the filing of this application, if owner is not the applicant:

Signature _____ date _____

Applicant's interest in the land: (if other than owner) _____

Part C - Project Description (attach extra pages, if necessary)

- 1) Describe in detail the proposed activity here or on an attached page. (See guidelines at end of application – page 6.)

Please include a description of all activity or construction or disturbance:

a) in the wetland/watercourse

An existing gravel & natural surface trail around Bicentennial Pond will be resurfaced with stone dust and slightly re-graded to provide for ADA accessibility around the pond. Currently, four sections of the existing trail traverse on or near wetland soils. Through the improvements, one section will be routed around the wetland area and the remaining three sections will be improved in place. On the northwest shore of the pond the existing trail parallels the shore and the wetland soils zigzag across the trail. In this area, the trail will be improved by lining the east side of the trail with salvaged on-site stones to retain grade and surface drain away from the wetland soils. At the northern corner of the trail next to the existing bridge, we will improve an existing disturbed area to provide an outdoor classroom. The classroom will be created using a stone dust surface and reclaimed on-site boulders for seating. The classroom is intended to be used by the middle school and Parks and Recreation to educate students and the general public about wetlands, watersheds and aquatic ecosystems. In the northeastern section of the trail, the trail will be re-routed around wetland soils and challenging terrain. Further south, along the eastern side of the park, we will be crossing between the wetland soil (note: wetland soils were found on either side of the existing trail, but not within the trail itself) by building up the trail with salvaged on-site stone and using two 12" PVC corrugated Pipe for water passage and amphibian crossing.

b) in the area adjacent to (within 150 feet from the edge of) the wetland/watercourse, even if wetland/watercourse is off your property)

As stated above, the existing trail around Bicentennial Pond will be resurfaced with stone dust, and slightly re-graded to provide for accessibility codes as outlined by the US National Parks Service. The upgraded trail will include 6" of new base material and 1.5" inches of stonedust as a surface treatment. The stonedust will be infused with a binder substrate to reinforce the surface. A few sections of trail will be rerouted to avoid existing wetland soils and steep/eroded slopes. Several sections of existing trail will be closed off and reclaimed as forest understory.

- 2) Describe the amount or area of disturbance (in square feet or cubic yards or acres):

a) in the wetland/watercourse

There will be a total of 2361 square feet of trail resurfaced within wetland soils. Additionally, there will be 48 square feet of trail within wetland soils that will be closed off and reclaimed as forest understory.

b) *in* the area **adjacent** to (within 150 feet from the edge of) the wetland/watercourse, even if wetland/watercourse is **off** your property

There will be 14,778 square feet of reclaimed /new trail within 150' of wetland soils. Additionally, there will be 3,390 square feet of trail within 150' of wetland soils to be closed off and reclaimed as forest understory.

3) Describe the type of materials you are using for the project:

a) include **type** of material used as fill or to be excavated

Excavated spoils will be used onsite as fill. Processed gravel will be brought in and used as the base material for reconstructed trails. Stonedust will be used as the trail surface material.

b) include **volume** of material to be filled or excavated

The volume of material to be filled and/or excavated is 440 CY's. No material will be taken from the site, all cut and fill will be balanced, and the only "fill" being brought into the site will be the materials needed to construct the trail.

4) Describe measures to be taken to minimize or avoid any adverse impacts on the wetlands and regulated areas (silt fence, staked hay bales or other Erosion and Sedimentation control measures).

All possible best management soil and erosion control practices will be employed. Silt fence will be used down slope of all trail construction on slopes where erosion is possible. In areas where silt fence is not advisable (top of dam) staked hay bales will be used. Once stabilized, the hay bales will be repurposed as mulch in other disturbed areas. On trails that will be closed as part of this project, the adjoining leaf litter will be used as mulch to revegetate the understory. All E&S controls will be inspected by the project or Town Engineer throughout construction.

Part D - Site Description

Describe the general character of the land. (Hilly? Flat? Wooded? Well drained? etc.)

The general character of Schoolhouse Brook Park is wooded with rolling hills. The site is fairly well drained with all surface drainage leading to Bicentennial Pond.

Part E - Alternatives

Have you considered any alternatives to your proposal that would meet your needs and might have less impact on the wetland/watercourse? Please list these alternatives.

Every effort was made to avoid any additional impacts to wetland soils. Where the existing trail traverses wetland soils, the proposed trail was either relocated, or improved in place. Every effort was made to not increase the disturbed area. Where fill is needed through wetland areas (to provide ADA accessibility) salvaged on site stones are proposed to be used to build walls and retain the fill, instead of tapering fill back to grade. Additionally the fill will be existing onsite material (both stone and soil) to provide drainage and uniform soil structure.

Part F - Map/Site Plan (all applications)

1) Attach to the application a map or site plan showing **existing conditions** and the **proposed project** in relation to wetland/ watercourses. Scale of map or site plan should be 1" = 40'; if this is not possible, please indicate the scale that you are using. A sketch map may be sufficient for small, minor projects. (See guidelines at end of application – page 6.)

2) Applicant's map date and date of last revision _____

3) Zone Classification RAR 90

4) Is your property in a flood zone? Yes No Don't Know

Part G - Major Applications Requiring Full Review and a Public Hearing
See Section 6 of the Mansfield Regulations for additional requirements.

Part H - Notice to Abutting Property Owners

- 1) List the names and addresses of abutting property owners
- | Name | Address |
|-----------------------|---------|
| Request for Exemption | |
| | |
| | |
| | |
| | |
| | |
| | |

- 2) **Written Notice to Abutters** . You must notify abutting property owners by certified mail, return receipt requested, stating that a wetland application is in progress, and that abutters may contact the Mansfield Inland Wetlands Agent for more information. Include a brief description of your project. Postal receipts of your notice to abutters must accompany your application. (This is not needed for exemptions).

Part I - Additional Notices, if necessary

- 1) Notice to Windham Water Works is attached. If this application is in the public watershed for the Windham Water Works (WWW), you must notify the WWW of your project within 7 days of sending the application to Mansfield--sending it by certified mail, return receipt requested. Contact the Mansfield Inland Wetlands Agent to find out if you are in this watershed.
- 2) Notice to Adjoining Town. If your property is within 500 feet of an adjoining town, you must also send a copy of the application, on the same day you sent one to Mansfield, to the Inland Wetlands Agency of the adjoining town, by certified mail, return receipt requested.
- 3) The Statewide Reporting Form (attached) shall be part of the application and specified parts must be completed and returned with this application.

Part J - Other Impacts To Adjoining Towns, if applicable

- 1) Will a significant portion of the traffic to the completed project on the site use streets within the adjoining municipality to enter or exit the site? ___ Yes ___ No ___ Don't Know
- 2) Will sewer or water drainage from the project site flow through and impact the sewage or drainage system within the adjoining municipality? ___ Yes ___ No ___ Don't Know
- 3) Will water run-off from the improved site impact streets or other municipal or private property within the adjoining municipality? ___ Yes ___ No ___ Don't Know

Part K - Additional Information from the Applicant

Set forth (or attach) any other information which would assist the Agency in evaluating your application. (Please provide extra copies of any lengthy documents or reports, and extra copies of maps larger than 8.5" x 11", which are not easily copied.)

Part L - Filing Fee

Submit the appropriate filing fee. (Consult Wetlands Agent for the fee schedule available in the Mansfield Inland Wetlands and Watercourses Regulations.)

\$1,000. \$750. \$500. \$250. \$125. \$100. \$50. \$25.

\$30 State DEP Fee

fee not applicable

Note: The Agency may require you to provide additional information about the regulated area which is the subject of the application, or about wetlands or watercourses affected by the regulated activity. If the Agency, upon review of your application, finds the activity proposed may involve a "significant activity" as defined in the Regulations, additional information and/or a public hearing may be required.

The undersigned applicant hereby consents to necessary and proper inspections of the above mentioned property by members and agents of the Inland Wetlands Agency, at reasonable times, both before and after the permit in question has been granted by the Agency.

Applicant's Signature

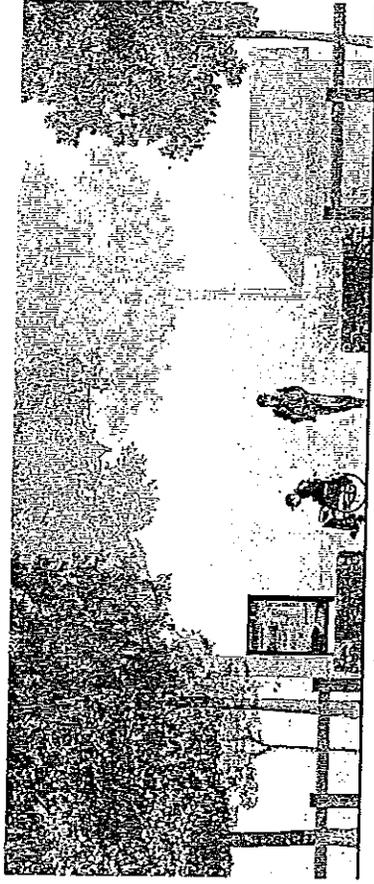
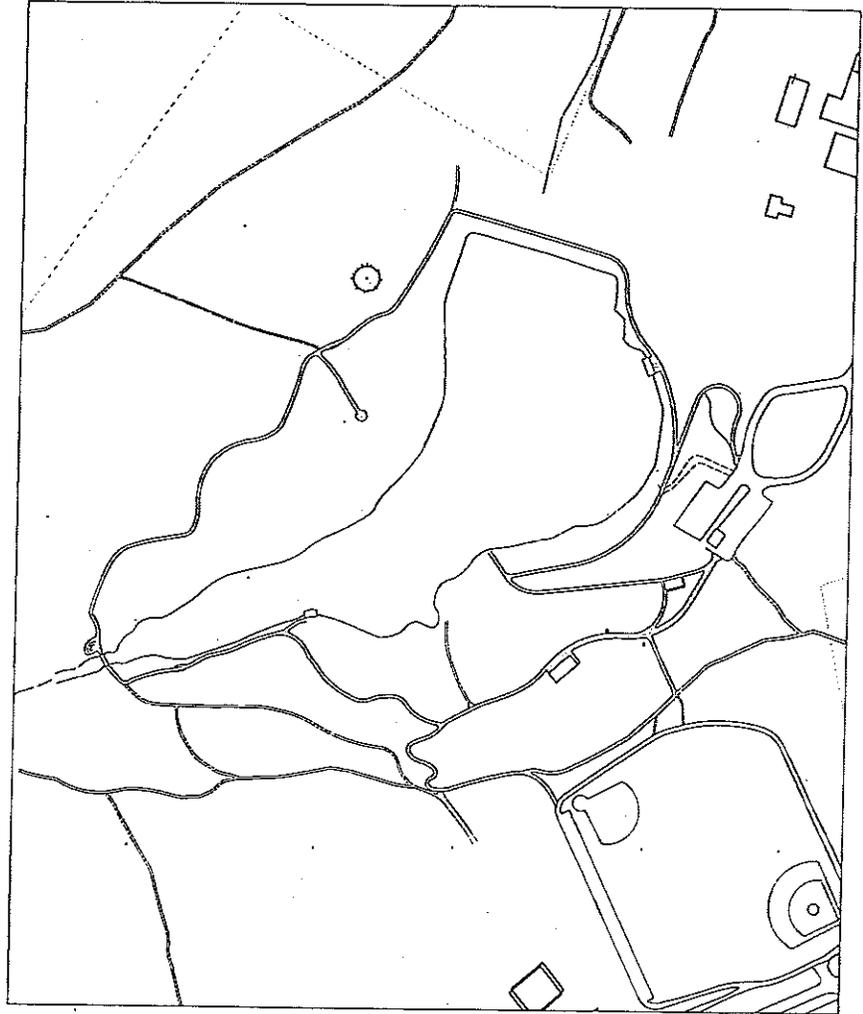
Date

[Handwritten Signature]

3/27/2013

UNIVERSAL ACCESS TRAIL AROUND BICENTENNIAL POND

TOWN OF MANSFIELD
MARCH 2013



MASTER PLAN DOCUMENTS

Drawing Legend	
Drawing	Description
G-1	General Notes
L-1	Existing Conditions & Demolition Plan
L-2	Sediment & Erosion Control Plan
L-3	Trail Layout - Main Loop
L-4	Trail Layout - West Loop
L-5	Trail Layout - Waterfront Loop
L-6	Signage Plan
D-1	Site Details
D-2	Site Details
D-3	Site Details
D-4	Site Details
D-5	Site Details

Prepared For:

Town of Mansfield
Mansfield, CT

Prepared By:

KENT FROST ARCHITECTURE
KENT FROST ARCHITECTURE
100 MAIN STREET
MANSFIELD, CT 06108
TEL: 860.331.1234
WWW.KENTFROSTARCHITECTURE.COM

STADIA ENGINEERING ASSOCIATES, INC.
STADIA ENGINEERING ASSOCIATES, INC.
100 MAIN STREET
MANSFIELD, CT 06108
TEL: 860.331.1234
WWW.STADIAENGINEERING.COM

Universal Access
Trail Around
Bicentennial Pond

Nearby, CT

KENT + FROST
ARCHITECTS
1000 WILSON STREET
NORWICH, CT 06250
TEL: 860.841.8778
WWW.KENTFROST.COM

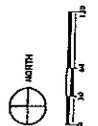
STADIA ENGINEERING
1000 WILSON STREET
NORWICH, CT 06250
TEL: 860.841.8778
WWW.STADIAENGINEERING.COM

Legend:

- Existing Tree
- Property Line
- Existing Trench
- Building Footprint
- Existing Wetland
- Demo Tree
- Demo Pavement
- Demo Tree

Note: See Stationization and
Drain Control Plan

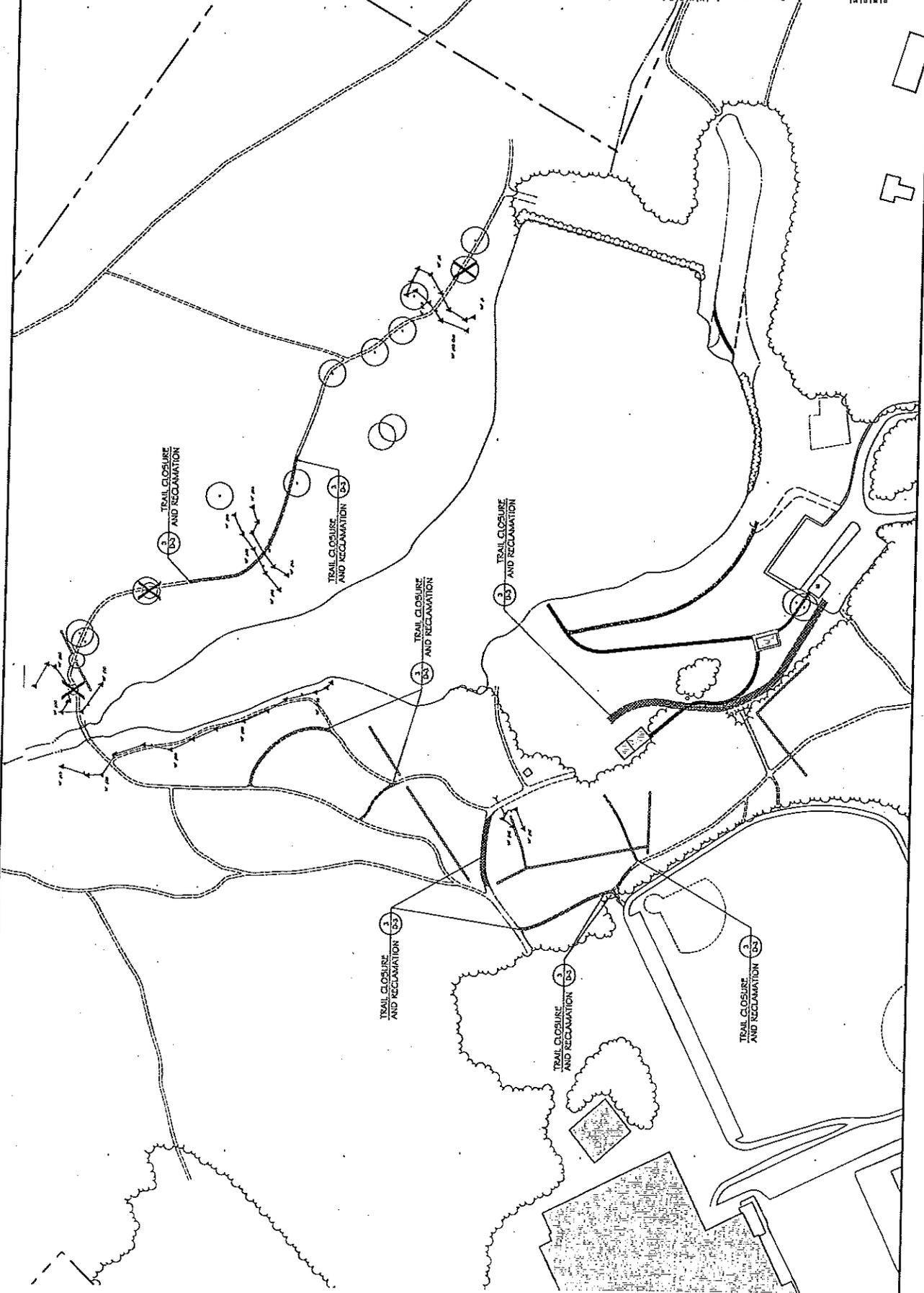
**NOT ISSUED FOR
CONSTRUCTION**



Existing Conditions
& Demolition Plan

Scale	1" = 40'
Date	10/15/2010
Drawn	J. [Name]
Checked	[Name]
Project No.	[Number]

L-1



Universal Access
Trail Around
Bicentennial Pond

New Britain, CT

**LANDSCAPE
KENT FROST
ARCHITECTS**

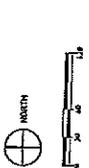
100 WILSON STREET
NEW BRITAIN, CT 06053-1794
TEL: 860.441.1111
FAX: 860.441.1111

**STABIA
ENGINEERING
ASSOCIATES, INC.**
100 WILSON STREET
NEW BRITAIN, CT 06053-1794
TEL: 860.441.1111
FAX: 860.441.1111

Legend:

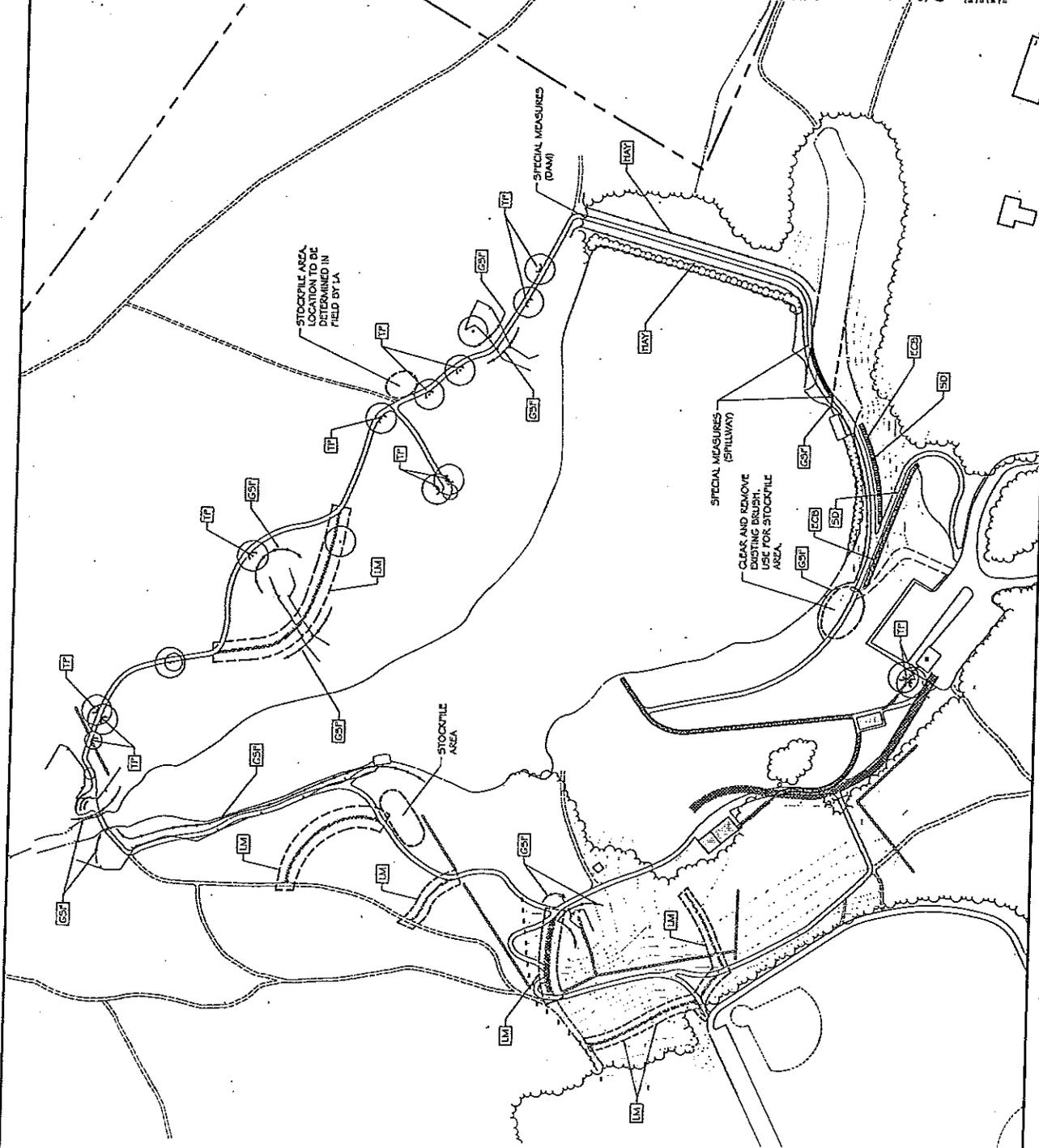
- Existing Tree
- Property Line
- Existing Wetlands
- Existing Treebore
- Existing Stone Wall
- Existing Trail
- Proposed Trail
- Concrete Silt Fence
- Hay Bale Erosion Control
- Temporary Erosion Control Blanket
- Hay Bale Erosion Control
- Tree Protection
- Concrete Silt Fence
- Temporary Erosion Control Blanket
- Subsurface Drain
- Leaf Muck

**NOT ISSUED FOR
CONSTRUCTION**



Sediment & Erosion
Control Plan

Date	11/11/2011
Rev	11/11/2011
Rev Description	2011/11/11
Drawn By	STABIA



Universal Access Trail Around Bicentennial Pond

MANHATTAN, CT

KENT & FROST ARCHITECTS

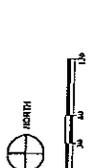
200 WEST STREET
MANHATTAN, CT 06420
TEL: 860.253.0744
FAX: 860.253.0744

STADIA ENGINEERING

200 WEST STREET
MANHATTAN, CT 06420
TEL: 860.253.0744
FAX: 860.253.0744

- Legend:**
- Existing Tree
 - Existing Trail
 - Existing Stream
 - Existing Wetland
 - Existing Contour Line
 - Existing Trail
 - Proposed Gravel Path
 - Proposed Stone/Gravel Trail
 - Proposed Beach Path
 - Proposed Asphalt Path
 - Station Point (STA)

NOT ISSUED FOR CONSTRUCTION



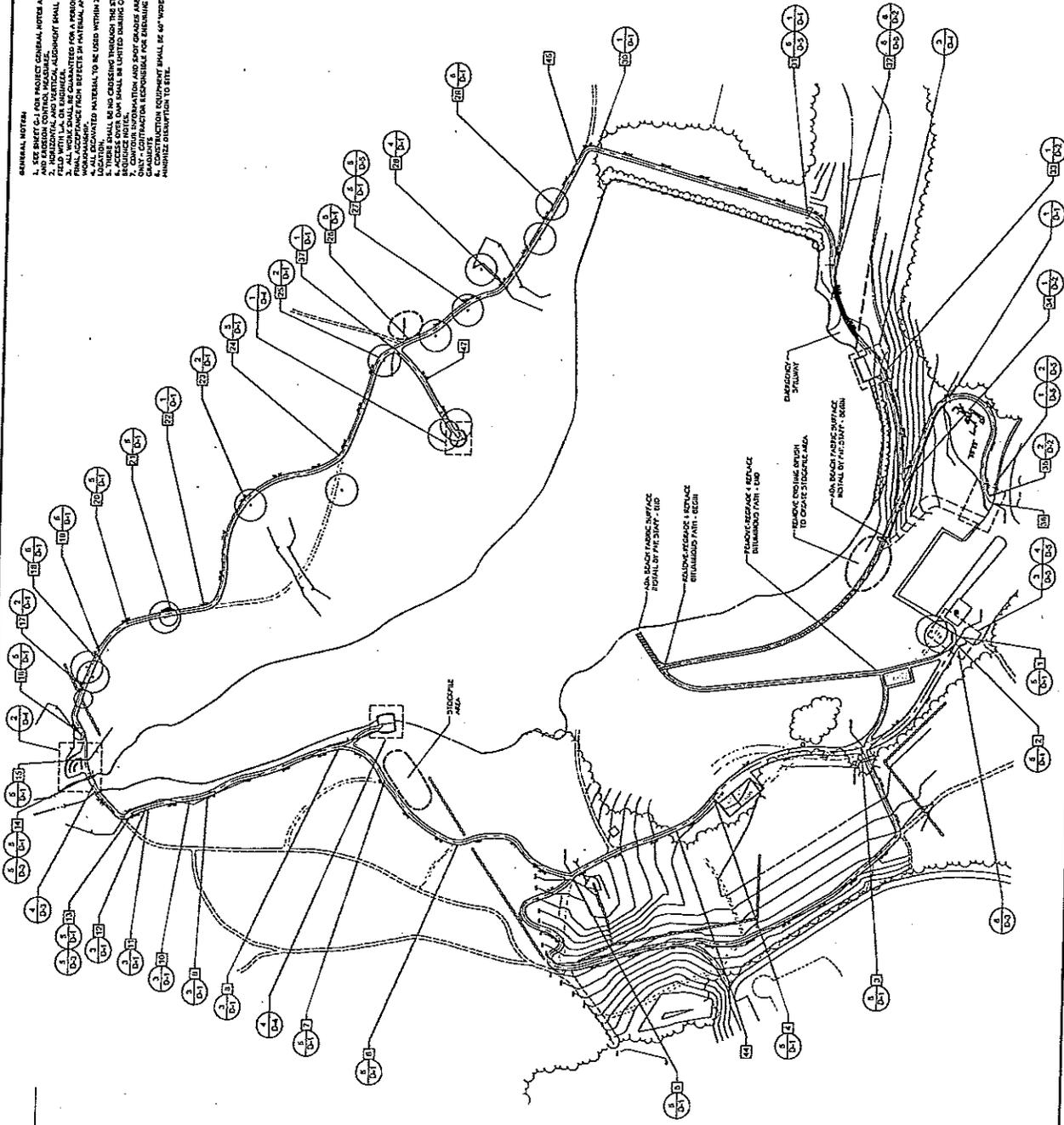
Trail Layout - Main Loop

Scale: 1" = 30'

DATE: 11/14/2011
DRAWN BY: J. FROST
CHECKED BY: K. KENT

GENERAL NOTES

- SEE SHEET C-1 FOR PROJECT GENERAL NOTES AND DEMONSTRATION AND EROSION CONTROL MEASURES.
- FIELD SURVEY AND ADJUSTMENT SHALL BE DONE BY THE FIELD WITH L.A. OR ENGINEER.
- FINAL WORK SHALL BE COMPLETED FOR A PERIOD OF ONE YEAR FROM PROJECT COMPLETION DATE.
- UNDESIGNED MATERIAL TO BE USED WITHIN 200' OF THE ORIGINAL LOCATION.
- ACCESS ROADS TO BE USED THROUGH THE EXISTING REDUCED INTER.
- EXISTING TREES AND CONTIGUOUS CONSTRUCTION - SEE SHEET C-1 FOR TREE REMOVAL AND PRESERVATION REQUIREMENTS.
- CONSTRUCTION EQUIPMENT SHALL BE AT LEAST 10 FEET AWAY FROM THE TRAIL.



- REFERENCE NOTES**
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 7. CONSTRUCTION EQUIPMENT SHALL BE AT LEAST 10 FEET AWAY FROM THE TRAIL.
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 100. SEE SHEET C-1 FOR TREE REMOVAL AND PRESERVATION REQUIREMENTS.

Universal Access
Trail Around
Bicentennial Pond

Hamden, CT

KENT FROST ARCHITECTS
1100 STATE ST
SUITE 200
HARTFORD, CT 06103
TEL: 860.234.1234
WWW.KENTFROST.COM

STADIA ENGINEERING ASSOCIATES, INC.
4700 SHERWOOD DRIVE
SUITE 200
HARTFORD, CT 06103
TEL: 860.234.1234
WWW.STADIAENGINEERING.COM

- Legend:**
- Existing Treeline
 - Existing StoneWall
 - Existing Contour Line
 - Existing Trail
 - Proposed Trail
 - 20'-00" Station Point (STA)

NOT ISSUED FOR CONSTRUCTION

By: [Blank]
Date: [Blank]

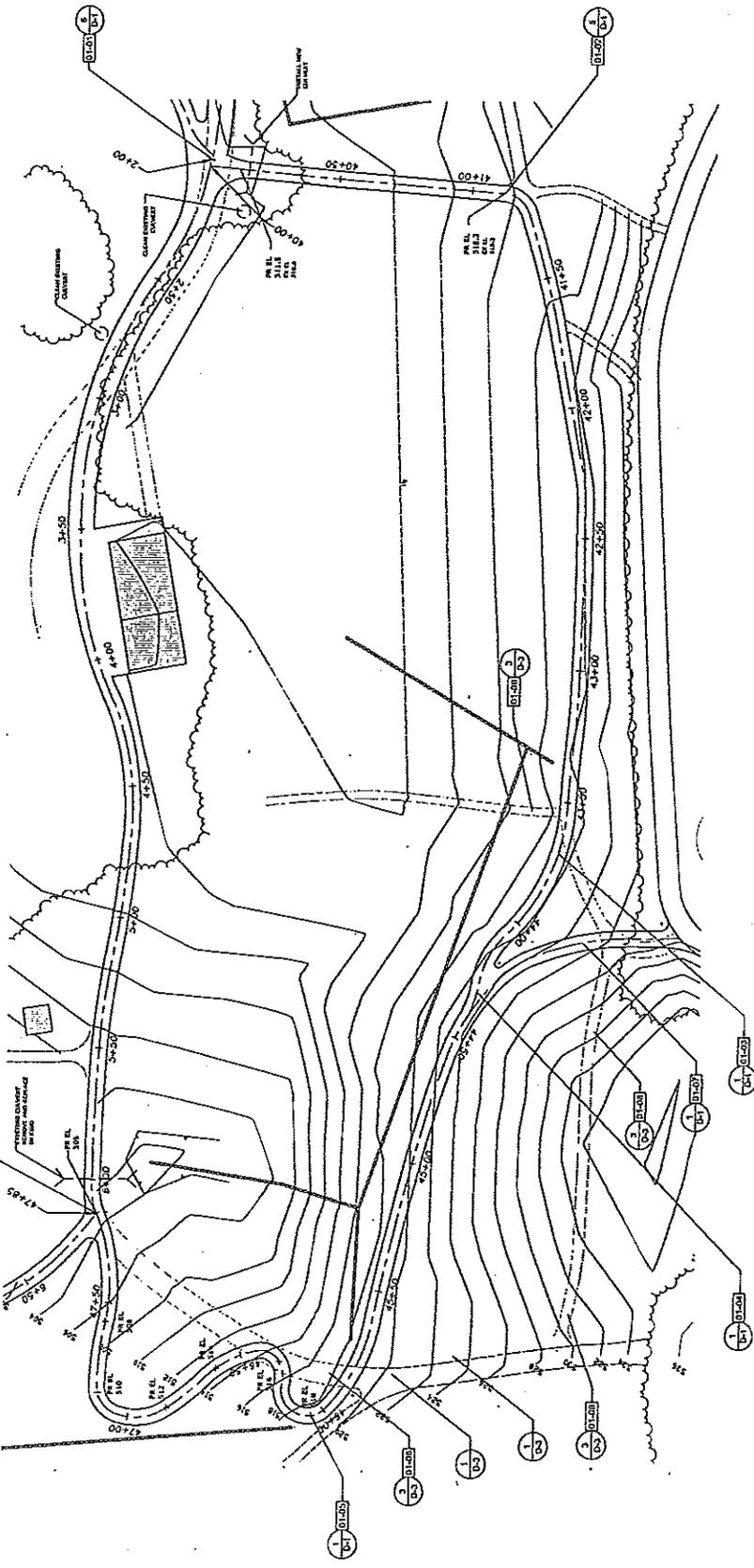


Trail Layout -
West Loop

Scale: 1" = 20'
Date: 11/14/2013
By: [Blank]
Project No.: [Blank]
Drawing No.: [Blank]

SYMBOL **DESCRIPTION** **STA** **DETAIL**

- 01-21 STA 40+00 TO 41+12. PROPOSED FILL TO COVER TRAIL & FURSH WITH PROPOSED MAIN TRAIL. TAKE GRADE ALONG TRAIL & ALIGNMENT TO STA 41+12. AT STA 40+12 PROPOSE NEW 12" LONGER THAN STA 40+00. (SEE PLAN)
- 01-22 STA 41+12 TO 44+30. C' WIDE TRAIL TO BE EXISTING TRAIL AS SHOWN. AS SHOWN AND STA 43+42. REMOVE STONE AND REGRAD AS NECESSARY TO PROVIDE UNIFORM SMOOTH SURFACE.
- 01-23 STA 44+30. NEW C' TRAIL ALONG CONTOUR.
- 01-24 STA 44+30 TO 46+09. NEW C' WIDE TRAIL ABOVE EXISTING STONE WALL.
- 01-25 STA 46+09 TO 47+05. C' WIDE TRAIL TO CREATE SHALLOW DOWN SLOPE. TRAIL GRADE SHALL BE NO STEEPER THAN 11% SIDE SLOPE. UNLESS OTHERWISE NOTED, ALL CORNERS SHALL BE ROUNDED TO 10' RADIUS.
- 01-26 STA 47+05. END CONSTRUCTION.
- 01-27 NEW C' TRAIL CONNECTING TRAIL TO SCHOOL TRACK.
- 01-28 CLOSE TRAIL.



Universal Access
Trail Around
Bicentennial Pond

Meriden, CT

KENT + FROST
ARCHITECTS
1000 WEST MAIN STREET
MIDDLETOWN, CT 06455
TEL: 860.336.1111
WWW.KENTFROST.COM

PERKINS+WILL
ARCHITECTS
1000 WEST MAIN STREET
MIDDLETOWN, CT 06455
TEL: 860.336.1111
WWW.PW.COM

Legend:

- Existing Treadline
- Dusting Contour Line
- Proposed Spallgrade
- Proposed Subsoil Trail
- Proposed Beach Path
- Gravel/Glass Pavement
- Station Point (STA)

NOT ISSUED FOR CONSTRUCTION

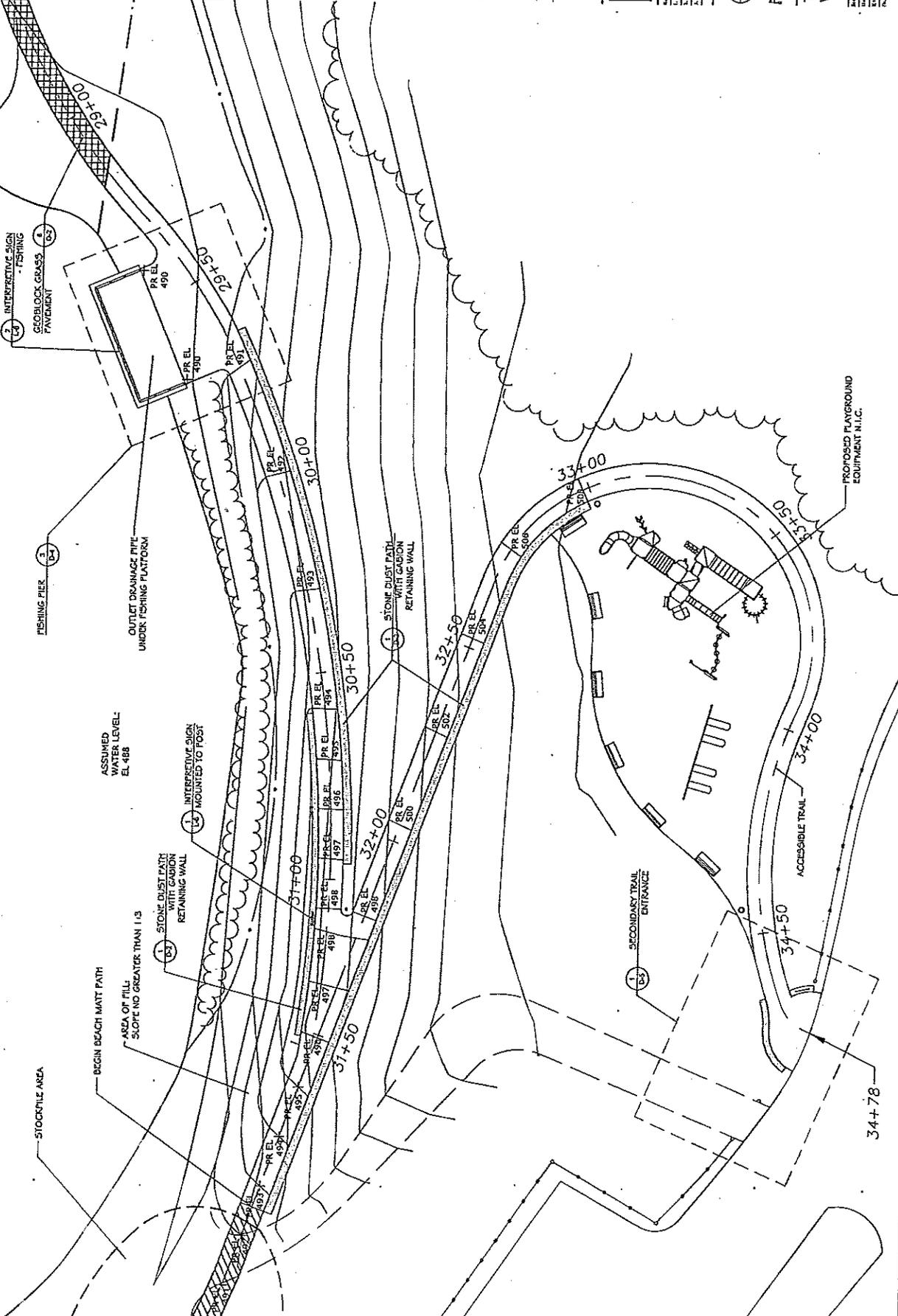
Project No.	
Sheet No.	
Date	
Scale	
Author	
Checker	
Reviewer	
Project Manager	



Trail Layout -
Waterfront Loop

Project No.	
Sheet No.	
Date	
Scale	
Author	
Checker	
Reviewer	
Project Manager	

L-5



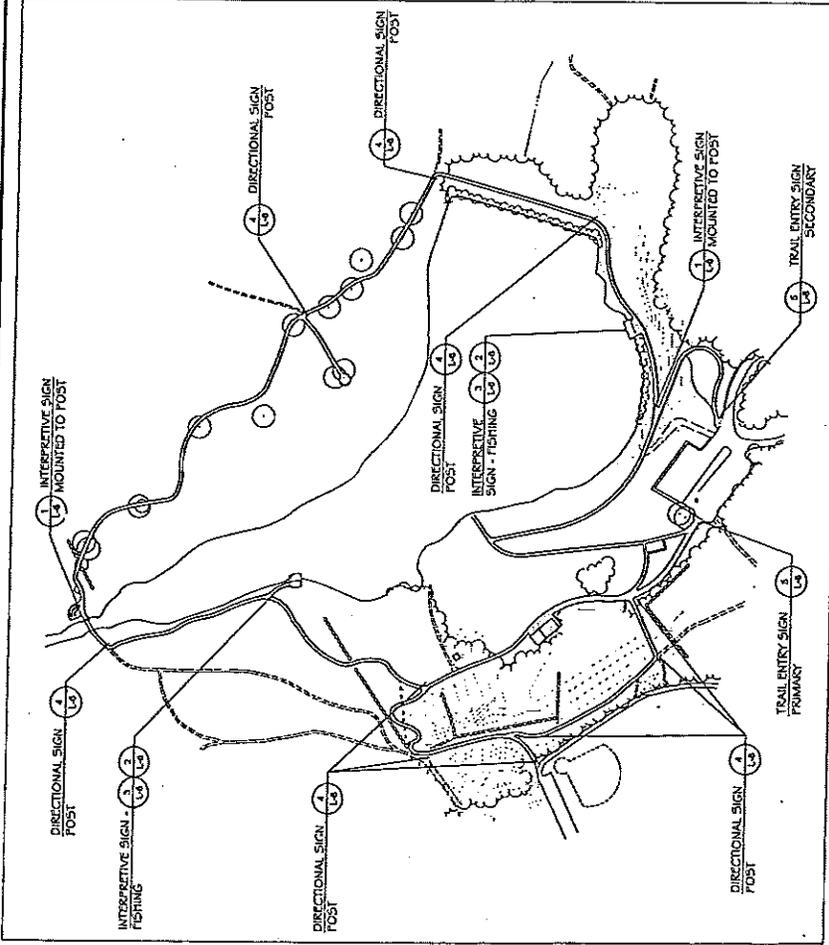
Universal Access
Trail Around
Bicentennial Pond

Middletown, CT

KENT & FROST
ARCHITECTS
110 HIGH STREET
MIDDLETOWN, CT 06457
TEL: 860.336.8722
FAX: 860.336.8722

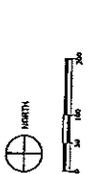
STADIA ENGINEERING ASSOCIATES, INC.
1000 STATE STREET
MIDDLETOWN, CT 06457
TEL: 860.336.8722
FAX: 860.336.8722

- Legend:**
- Existing Tree
 - Existing Trail
 - Existing Stone Wall
 - Existing Trail
 - Proposed Trail



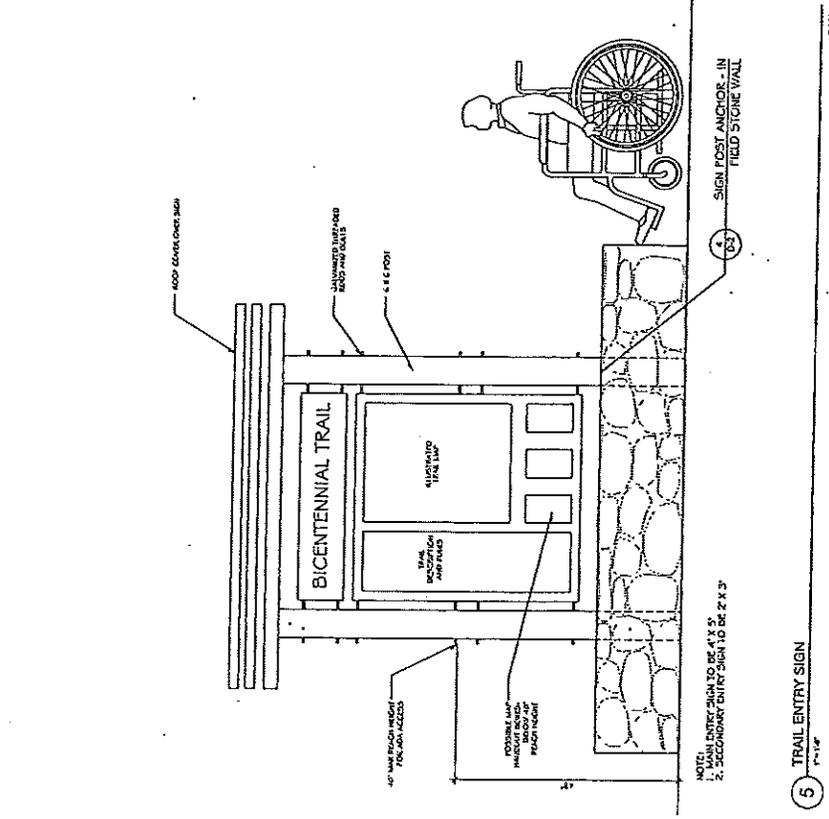
GENERAL NOTE:
A TRAIL SIGNIFICANCE REPORT FOR ALL SIGNAGE

NOT ISSUED FOR CONSTRUCTION

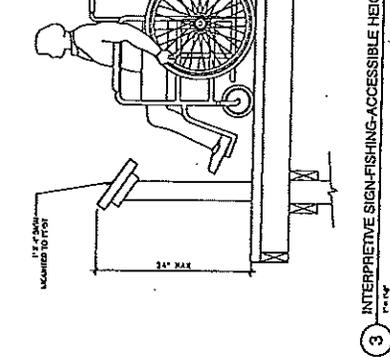


Signage Plan

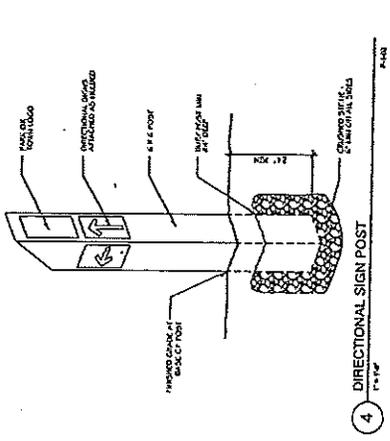
Date:	11/11/08
Drawn by:	ST/MLB/STB
Checked by:	ST/MLB/STB
Project No.:	2008001
Sheet No.:	1 of 1



5 TRAIL ENTRY SIGN
1" = 1'-0"



2 INTERPRETIVE SIGN - FISHING
1" = 1'-0"

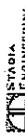


4 DIRECTIONAL SIGN POST
1" = 1'-0"

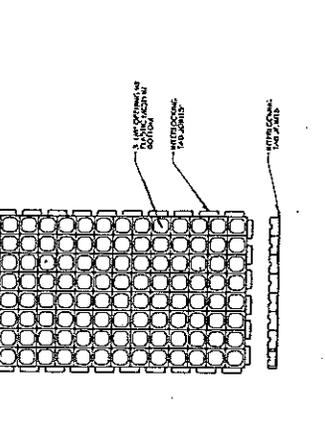
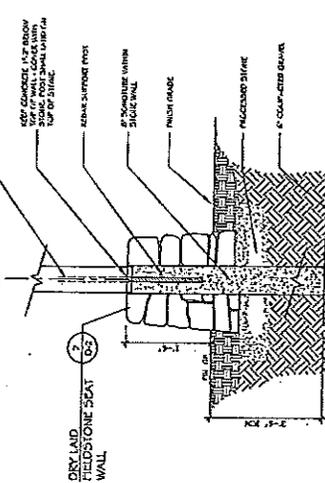
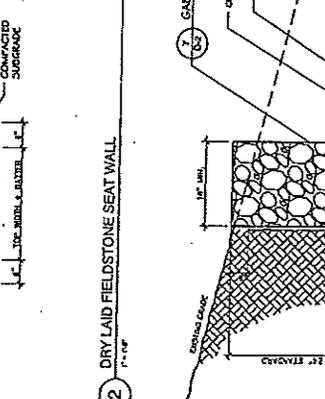
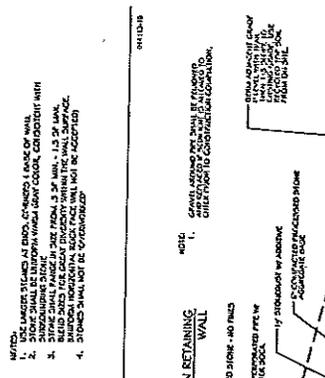
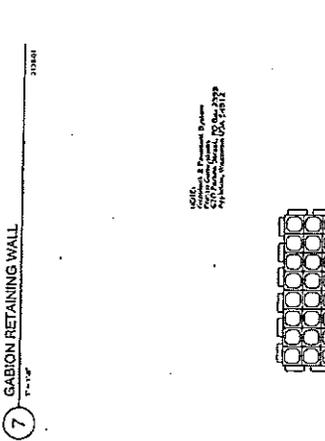
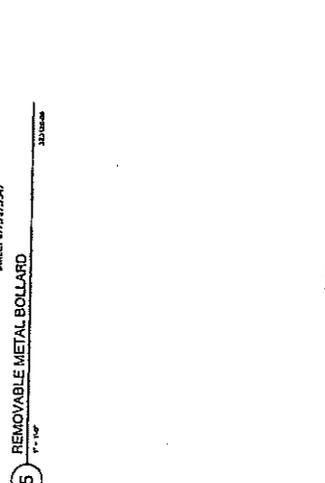
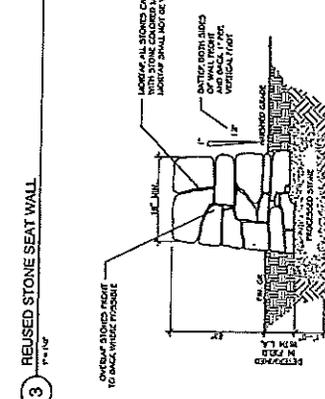
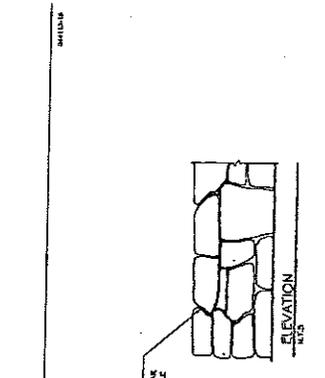
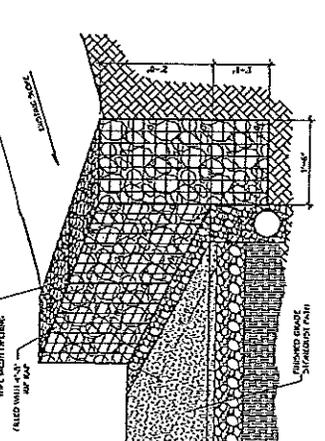
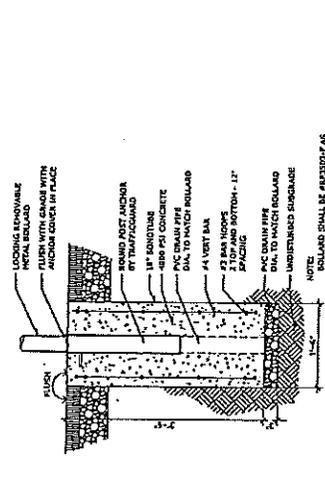
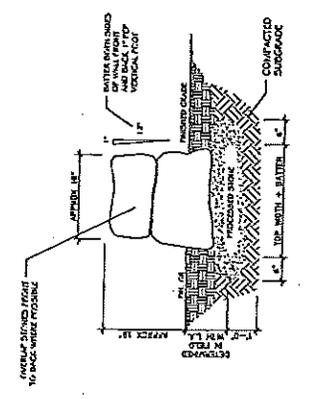
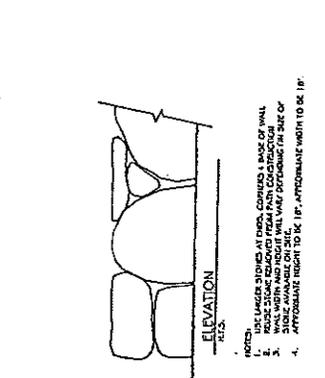
Universal Access
Trail Around
Bicentennial Pond

Middletown, CT

KENT FROST ASSOCIATES, INC.
ENGINEERING ARCHITECTURE
1100 STATE STREET
MIDDLETOWN, CT 06457
860.352.0911
WWW.KENTFROST.COM



STABIA ENGINEERING ASSOCIATES, INC.
REGISTERED PROFESSIONAL ENGINEER
STATE OF CONNECTICUT
No. 10000
10000
10000
10000



NOTE: ALL STONE MUST MATERIAL ACCORDANCE WITH WRITTEN SPECIFICATION.

NOT ISSUED FOR CONSTRUCTION

DATE	
BY	
CHECKED	
DATE	

Site Details

DATE	
BY	
CHECKED	
DATE	

D-2

Universal Access
Trail Around
Bicentennial Pond

Middletown, CT

KENT FROST
ARCHITECTURE

1180 S. STATE
MIDDLETOWN, CT 06451

TEL: 860-346-1111

FAX: 860-346-1111

WWW.KENTFROST.COM

STANBIA
ENGINEERING, INC.

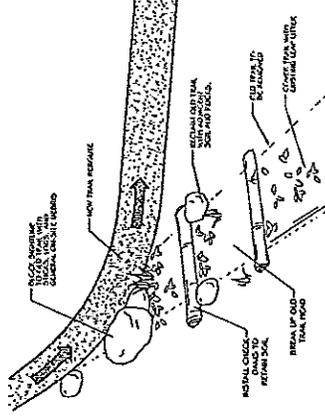
1100 W. MAIN ST.

STANBIA, CT 06422

TEL: 860-346-1111

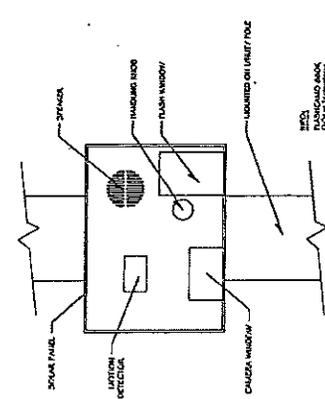
FAX: 860-346-1111

WWW.STANBIA.COM



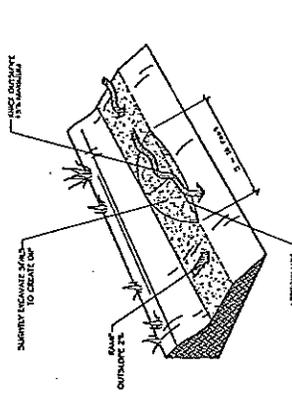
3 TRAIL CLOSURE AND RECLAMATION
1" = 1'-0"

3/18/04



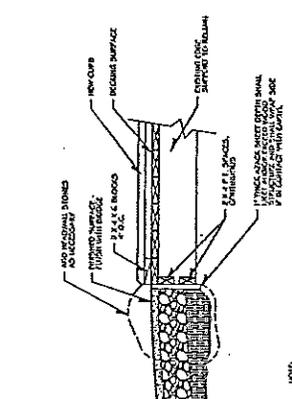
6 FLASHCAM BBOOK
1" = 1'-0"

3/18/04



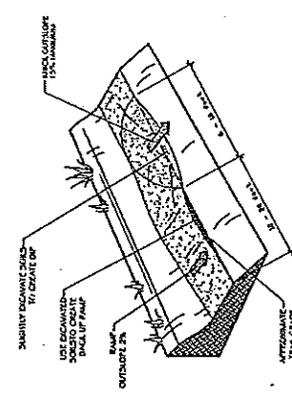
2 TRAIL DRAINAGE KNICK
1" = 1'-0"

3/18/04



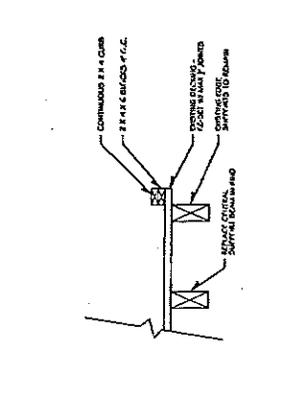
5 BRIDGE AND PATH CONNECTION
1" = 1'-0"

3/18/04



1 ROLLING GRADE DIP
1" = 1'-0"

3/18/04



4 BRIDGE WORK
1" = 1'-0"

3/18/04

NOTE: ALL STONE DUST MATERIAL SHALL BE CONSTRUCTED IN ACCORDANCE WITH WRITTEN SPECIFICATION.

NOT ISSUED FOR CONSTRUCTION

Scale:	
Date:	
Drawn by:	
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Project No.:	
Sheet No.:	

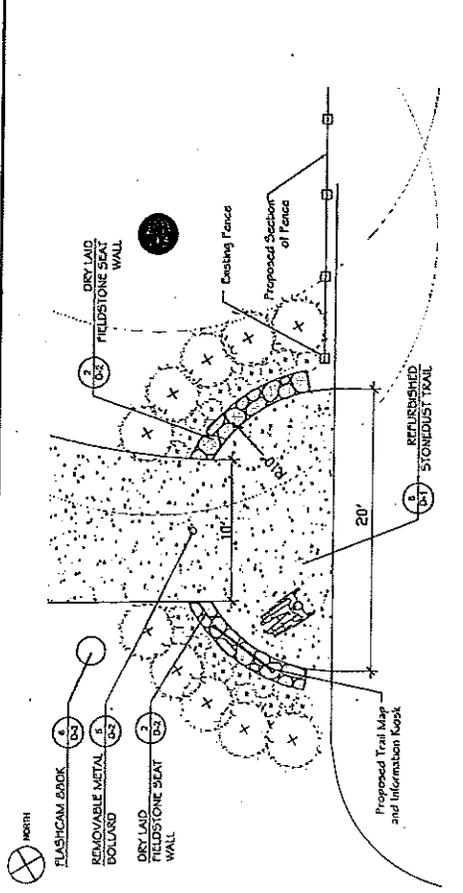
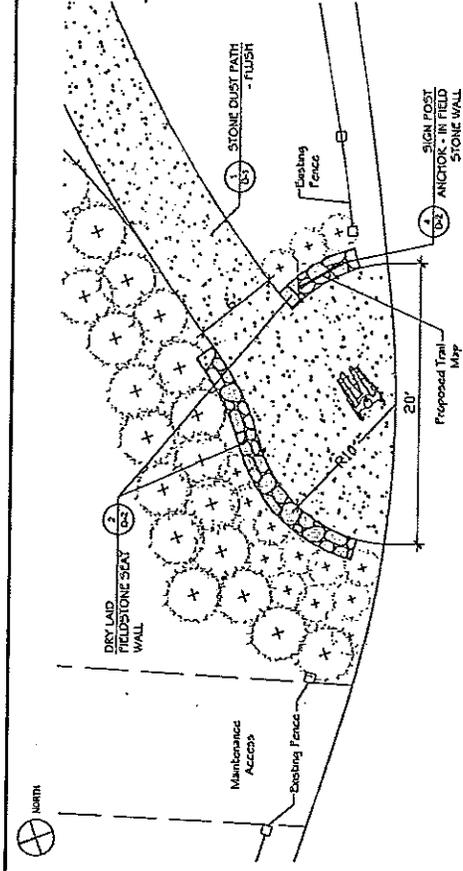
Site Details

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Sheet No.:	

Universal Access
Trail Around
Bicentennial Pond

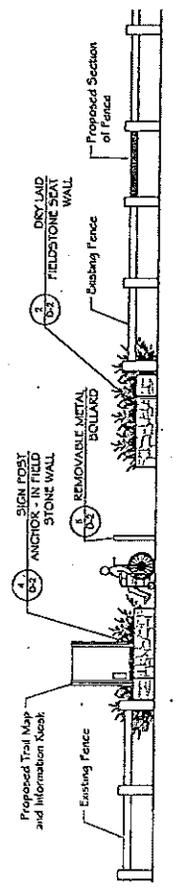
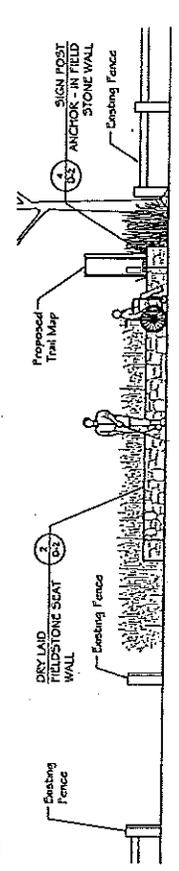
MASSACHUSETTS
KENT + FROST
ARCHITECTS
100 STATE STREET
SUITE 200
BOSTON, MA 02109
TEL: 617.552.3300
WWW.KENTANDFROST.COM

STADIA DESIGN
100 STATE STREET
SUITE 200
BOSTON, MA 02109
TEL: 617.552.3300
WWW.STADIADESIGN.COM



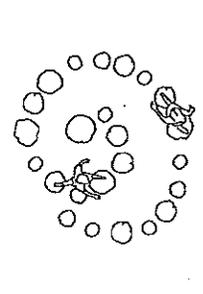
3 Primary Trail Entrance - Enlargement
1" = 4'-0"

3 Primary Trail Entrance - Enlargement
1" = 4'-0"



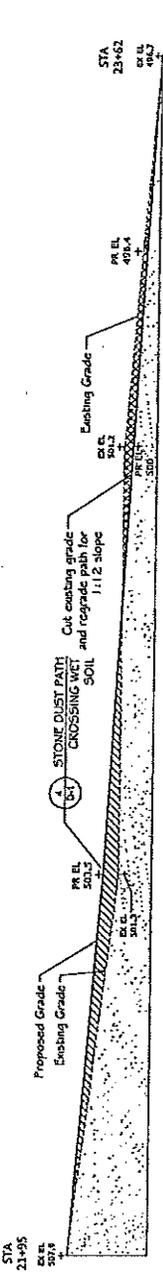
2 Secondary Trail Entrance - Elevation
1" = 4'-0"

4 Primary Trail Entrance - Elevation
1" = 4'-0"

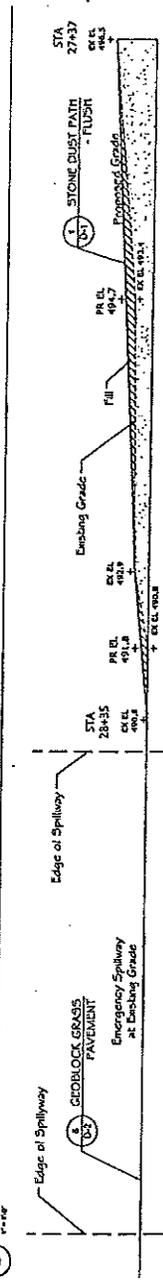


7 Example Slump Reuse - Elevation
1" = 4'-0"

NOT ISSUED FOR
CONSTRUCTION



5 Cutoffill Section STA 21+65 To STA 23+62
1" = 4'-0"



6 Dam To Spillway Transition Section
1" = 4'-0"

Site Details

TOWN OF MANSFIELD
DEPARTMENT OF PLANNING AND DEVELOPMENT

LINDA M. PAINTER, AICP, DIRECTOR

Memo to: Planning and Zoning Commission
Conservation Commission
Open Space Preservation Committee
Four Corners Sewer and Water Advisory Committee
Francis Raiola, Fire Marshal
Grant Meitzler, Assistant Town Engineer
Geoffrey Havens, Eastern Highlands Health District

From: Linda M. Painter, AICP, Director of Planning and Development *MLP*

Date: April 11, 2013

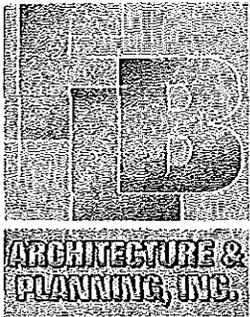
Subject: Campus Crossing, LLC
Subdivision Design Process Submission
PZC File #1317

In March 2011, the PZC adopted a new design process that is mandatory for proposed subdivisions that include 4 or more lots or a street. In accordance with the requirements of Section 5.2 of the Subdivision Regulations, Campus Crossing LLC has submitted an Off-Site and Neighborhood Influences Inventory Plan and Site Analysis Plan and a Conceptual Layout Plan for review. Please note that a yield plan is not included for distribution as referenced in the letter from the applicant since the proposed lots meet the minimum frontage requirements for the PB-3 property. This application is also somewhat unusual in that it is for a commercial property, not residential. Furthermore, the street involved in this subdivision is the new North Hillside Road extension that is being done by the state, therefore, the focus of this application is on the lots, not the road location or design.

Pursuant to Section 5.2.a.2, these plans are to be reviewed by town staff and referred to the Conservation Commission and Open Space Preservation Committee for review and comment. Due to the location of the property, it is also being referred to the Four Corners Sewer and Water Advisory Committee. The PZC is required to be notified in writing and provided with an opportunity to review and comment.

As I am required to provide comments to the applicant by May 23, 2013, I recommend that comments and feedback be provided to the Planning Office by May 10, 2013 and will be included in my response to the applicant.

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FLB Architecture & Planning, Inc. 19 Silver Lane East Hartford CT 06118
(860)568-4030 fax: (860)568-5129 e-mail: flb@flbarch.com web: www.flbarch.com

April 5, 2013

Planning and Zoning Commission
Attn: Linda Painter, Director of Planning & Development
Town of Mansfield
4 South Eagleville Road
Mansfield, Connecticut 06268

Re: 574-596 Middle Turnpike
Campus Crossing, LLC
Project No. 05248.10

Dear Commissioners,

In accordance with Section 5.2 of the Subdivision Regulations of the Town of Mansfield, Connecticut, we are herewith submitting six (6) copies each of:

1. Off-Site and Neighborhood Influences Inventory Plan and Site Analysis Plan
2. Conceptual Yield Plan
3. Conceptual Layout Plan

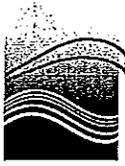
The Conceptual Yield Plan shows five (5) lots in the PB-3 Zone (Planned Business) and the construction of a new town-owned road extending from Middle Turnpike (Route 44) southerly to the south property line of the subject property. The Conceptual Layout Plan shows five (5) lots in the PB-3 Zone as they would be configured given the proposed taking by the University of Connecticut and State of Connecticut for the extension of North Hillside Road on University property to the south to Middle Turnpike (Route 44).

We look forward to receiving comments from staff and the Commission at the earliest possible dates.

Very truly yours,

Alan F. Lamson, AIA, AICP
President, Duly Authorized

Encl. Conceptual Yield Plan
Conceptual Layout Plan



**Notice of Tentative Determination to Approve Applications for
401 Water Quality Certification and
Stream Channel Encroachment Line Permit
And Intent to Waive Public Hearing**

**Applicant: The Connecticut Light and Power Company
Application Nos.: WQC - 201205697, SCEL - 201205698**

**Towns: Lebanon, Columbia, Coventry, Mansfield, Chaplin, Hampton, Brooklyn, Pomfret,
Killingly, Putnam and Thompson**

The Commissioner of the Department of Energy and Environmental Protection ("DEEP") hereby gives notice that a tentative determination has been reached to approve the following applications submitted under Section 401(a)(1) of the Federal Clean Water Act (the "Act") for the certification of activities, including but not limited to the construction or operation of facilities, which may result in any discharge into waters of the state and Section 22a-342 of the Connecticut General Statutes for a permit to place an encroachment or obstruction riverward of Stream Channel Encroachment Lines.

Application No.: WQC-201205697, SCEL-201205698

Applicant's Name and Address: The Connecticut Light and Power Company (CL&P)
P.O. Box 270, Hartford, CT 06141

Contact Name and Phone No.: Jeffrey R. Martin
P.O. Box 270, Hartford, CT 06141

Type of Permits: 401 Water Quality Certification and
Stream Channel Encroachment Line Permit

Project Description: Interstate Reliability Project - construction of 36.8 miles of
new overhead 345-kilovolt (kV) transmission line and
related modifications to existing substations and switching
stations

Project Location: Primarily within existing CL&P right-of ways (ROW's)
adjacent to the applicant's existing 345kV overhead
transmission line extending through the towns of Lebanon,
Columbia, Coventry, Mansfield, Chaplin, Hampton,
Brooklyn, Pomfret, Killingly, Putnam and Thompson

Waters: Multiple watercourses and unnamed wetlands

PROPOSED ACTIVITY

The proposed activities include the following: survey and stake ROW boundaries, mark boundaries of sensitive cultural and environmental resource areas, establish construction field offices, install erosion and sedimentation controls, remove vegetation along portions of the ROWs to be used for construction of new transmission lines, construct new on-ROW access roads or improve existing access roads, prepare level work pads, maintain access roads, prepare material staging sites, construct new transmission line structures and install guy wires as needed, install shield wires and conductors, install counterpoise as needed, remove work pads/temporary access roads/construction debris and restore disturbed sites, maintain erosion and sedimentation controls until disturbed areas are stabilized.

The proposed activities will affect approximately 0.95 acres of wetland due to permanent filling, 39.5 acres of wetlands due to temporary disturbances, and 32 acres of forested wetlands through converting forested wetland to scrub-shrub wetland habitat.

COMMISSIONER'S FINDINGS

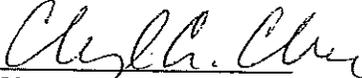
Application number WQC-201205697 has been evaluated for compliance with the applicable provisions of sections 301, 302, 303, 306 and 307 of the Act and the Water Quality Standards and Criteria of the State of Connecticut adopted pursuant to Section 22a-426 of the Connecticut General Statutes.

Pursuant to Section 22a-342 of the Connecticut General Statutes, the Department has found that application number SCEL- 201205698 is complete and has determined that the encroachments proposed under this application will not have an adverse impact on flood heights, flood storage capacity or hazards to life and property with due consideration to existing encroachments already constructed within the respective Stream Channel Encroachment Lines.

INFORMATION REQUESTS/PUBLIC COMMENT

Interested persons may obtain copies of the application from the applicant at the above address. The application and supporting documentation are available for inspection at DEEP, Bureau of Water Protection and Land Reuse, 79 Elm Street, Hartford, CT from 8:30 am to 4:30 pm Monday through Friday by contacting Stefani Battles of the Inland Water Resources Division (IWRD) at (860) 424-3019. Questions may be directed to Doug Hoskins, of the Inland Water Resources Division at (860) 424-4192. All interested persons are invited to express their views on the tentative determination concerning this application. Written comments on the application should be directed to Doug Hoskins, Bureau of Water Protection & Land Reuse, IWRD, DEEP, 79 Elm Street, Hartford, CT 06106-5127, no later than thirty (30) days from the publication date of this notice. Comments regarding this application may be submitted via electronic mail to: Douglas.Hoskins@ct.gov.

March 19, 2013
Publication Date


Cheryl A. Chase, Director
Inland Water Resources Division

Mansfield Open Space Preservation Committee
DRAFT Minutes of March 20, 2013 special meeting

Members present: Jim Morrow (chair), Vicky Wetherell, Michael Soares, Quentin Kessel, Ken Feathers (OSPC meeting only), members of the Conservation Commission for a joint meeting, and Jennifer Kaufman, Linda Painter (staff).

1. Joint meeting with the Conservation Commission was called to order at 7:35. During discussion of the Mansfield Tomorrow project, several suggestions were offered to the staff for additional issues to address.
2. After the Conservation Commission adjourned, the Open Space Preservation Committee meeting was called to order at 9:00.
3. Vicky was appointed acting secretary.
4. Minutes of the January 15, 2013 and notes from the February joint meeting with the Conservation Committee were approved.

New Business

5. *Universal Access Trail Around Bicentennial Pond* The committee reviewed the design for this proposed trail and supports the project as well as a \$25,000 contribution from the Open Space Fund as part of the matching funds for the grant application.
6. *Field Trip to Marshall Property* The committee will visit this property with the Parks Advisory Committee on April 7 to determine new trail routes on this property and adjoining parcels.
7. Meeting adjourned at 9:45. Future agenda item: OSPC representation on Mansfield Tomorrow focus groups.

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MINUTES
MANSFIELD PLANNING AND ZONING COMMISSION
Regular Meeting
Monday, March 18, 2013
Council Chamber, Audrey P. Beck Municipal Building

Members present: J. Goodwin (Chairman), B. Chandy, R. Hall, K. Holt, G. Lewis, P. Plante, K. Rawn, B. Ryan
Members absent: B. Pociask
Alternates present: A. Marcellino, V. Ward, S. Westa
Staff Present: Linda Painter, Director of Planning and Development

Chairman Goodwin called the meeting to order at 7:10 p.m., and appointed Marcellino to act in Pociask's absence.

Minutes:

3-4-13 Meeting Minutes- Holt MOVED, Ryan seconded, to approve the 3/4/13 meeting minutes as corrected (Alternate Westa was appointed to act). MOTION PASSED with all in favor except Hall who disqualified himself. Ward noted for the record that she listened to the recording of the meeting.

3-13-13 Field Trip Minutes- Holt MOVED, Rawn seconded, to approve the 3/13/13 minutes as written. MOTION PASSED with Goodwin, Holt and Rawn in favor and all others disqualified.

Zoning Agent's Report:

Noted.

Public Hearing:

Subdivision Application, 29 North Windham Road; J. Sauve, applicant: PZC File #1311

Holt MOVED, Ryan seconded, to continue the Public Hearing to the 4/1/13 meeting. MOTION PASSED UNANIMOUSLY.

Old Business:

a. 2 Lot Subdivision Application, Storrs Center Phase 1C, East of Storrs Road and West of Village Street: PZC File #1246-11

Plante MOVED, Chandy seconded, to approve with conditions the subdivision application (File #1246-11), of Storrs Center Alliance, LLC, for two lots, on property owned by the applicant, located on the east side of Storrs Road, south of Dog Lane, in the SC-SDD zone, as submitted to the Commission and shown on a one-page plan dated October 8, 2012.

The following requirements for the final subdivision plan are hereby waived as they are not applicable to this subdivision due to its location in the Storrs Center Special Design District: Section 6.5.d through 6.5.j, Section 6.5.m through 6.5.q., Section 6.5.s through 6.5.t, and Sections 6.7 through 6.9 of the Mansfield Subdivision Regulations. This waiver has been granted as the information has either been provided previously through the adoption of the Storrs Center Master Plan or will be provided through the Zoning Permit review process for development of the parcels established in Article X, Section S of the Zoning Regulations.

Furthermore, it is specifically noted that the provisions of the following sections of the Mansfield Subdivision Regulations are not applicable to the subdivision as there are no public improvements proposed as part of the subdivision and the remaining design standards have been addressed through the Storrs Center master plan and associated design guidelines: Sections 7.1 through 7.3, 7.4.a, 7.4.d through 7.4.g, 7.5 through 7.11, and Sections 8 through 15.

This approval is granted because the application, as hereby approved, is considered to be in compliance with the Mansfield Subdivision Regulations. Approval is granted with the following conditions:

1. The applicant shall submit copies of the notification to the Windham Water Works and Department of Public Health.
2. Final plans shall be signed and sealed by the responsible surveyor and professional engineer.
3. Final plan shall include a title block pursuant to Section 6.4 of the Subdivision Regulations.
4. The following revisions shall be made to the subdivision map:
 - a. A location map pursuant to Section 6.5a of the subdivision regulations shall be provided.
 - b. Zoning classifications of the subdivision and abutting properties shall be added pursuant to Section 6.5c of the subdivision regulations.
 - c. Names and addresses of abutting owners shall be added pursuant to Section 6.5k of the subdivision regulations shall be added to the map.
5. The Commission, for good cause, shall have the right to declare this approval null and void if the following deadlines are not met (unless a ninety (90) or one hundred and eighty (180) day filing extension has been granted):
 - a. All final maps, including submittal in digital format, shall be submitted to the Planning Office no later than fifteen days after the appeal period provided for in Section 8-8 of the State Statutes, or, in the case of an appeal, no later than fifteen days of any judgment in favor of the applicant;
 - b. All monumentation with Surveyor's Certificate, shall be completed pursuant to the Commission's approval action and Section 14 of the Subdivision Regulations no later than fifteen days after the appeal period provided for in Section 8-8 of the State Statutes, or, in the case of an appeal, no later than fifteen days, of any judgment in favor of the applicant.

MOTION PASSED UNANIMOUSLY.

- b. **New Subdivision Application, 85 & 87 Old Turnpike Road; Homeworks Properties, LLC; Owner & Applicant: PZC File #1315**
After discussion, Holt and Plante volunteered to work with staff on motions for the next meeting.
- c. **Subdivision Application, 29 North Windham Road; J. Sauve, applicant: PZC File #1311**
Tabled pending 4/1/13 continued Public Hearing.
- d. **Scenic Road Application, Brown's Road west of Storrs Road/Route 195; Jonathan Sgro, Applicant, PZC File #1010-9**
Tabled pending 4/15/13 Public Hearing.

New Business:

- a. **Clarification Request on Special Permit Approval, Aerial Ropes Course, PZC File #1313**
Lynn Stoddard, applicant, was present and reviewed the site and the proposal. After discussion, Rawn MOVED, Ryan seconded, to approve the extension of the ropes course to the north side of the parking lot as depicted on the attached plan provided that all elements are located at least 25 feet above grade to ensure clearance from any vehicles. MOTION PASSED UNANIMOUSLY.
- b. **Special Permit Application, Efficiency Unit, 85 Birchwood Heights, M. Balsamo Owner & Applicant: PZC File #1316**
Holt MOVED, Plante seconded, to receive the Special Permit application (File #1316) submitted by

Margherita Balsamo, for a single-family house with efficiency unit, on property located at 85 Birchwood Heights Road, owned by the applicant, as shown on plans dated 3-12-13 and as described in other application submissions, and to refer said application to the staff for review and comments, and to set a Public Hearing for April 15, 2013. MOTION PASSED UNANIMOUSLY.

Mansfield Tomorrow | Our Plan ▶ Our Future:

Painter discussed the progress and turnout from the Community Visioning Workshop and Open House held at E. O. Smith. She reviewed the upcoming meeting dates and the status of vacancies. Members brainstormed ideas of how to get more involvement from different age groups and businesses who aren't actively involved in town, in order to gain the different perspectives that these people might have about the future of Mansfield. The PZC requested that Painter send a letter to all Town businesses filed with the Clerk's office, as well as local realtors and multi-family property owners.

Reports from Officers and Committees:

The Subcommittee on Infrastructure has been meeting regularly, to discuss and observe where potential sidewalks might be needed. Next meeting is Wednesday, 3/20/13, at 1 p.m. in Room "C".

Communications and Bills:

None noted.

Adjournment: The Chairman declared the meeting adjourned at 8:42 p.m.

Respectfully submitted,

Katherine Holt, Secretary

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DRAFT MINUTES
MANSFIELD PLANNING AND ZONING COMMISSION
Regular Meeting
Monday, April 1, 2013
Council Chamber, Audrey P. Beck Municipal Building

Members present: J. Goodwin (Chairman), B. Chandy, R. Hall, K. Holt, G. Lewis, P. Plante B. Pociask K. Rawn, B. Ryan
Alternates present: A. Marcellino, S. Westa
Alternates absent: V. Ward
Staff Present: Linda Painter, Director of Planning and Development
Curt Hirsch, Zoning Agent

Chairman Goodwin called the meeting to order at 7:09 p.m.

Minutes:

3-18-13 Meeting Minutes- Ryan MOVED, Hall seconded, to approve the 3/18/13 meeting minutes as presented. MOTION PASSED with all in favor except Pociask who disqualified himself.

Zoning Agent's Report:

Hirsch noted that two modification requests were approved and signed: Red Rock Restaurant for an outside cooler in the rear of the building and Oak Grove Montessori for a greenhouse.

Rawn questioned the miscellaneous signs seen at Four Corners and Hirsch responded that anytime a freestanding "yard sign" is seen to call him at the office and he will visit the site(s) and remove them.

Pociask requested a status update on Paideia.

Public Hearing:

Subdivision Application, 29 North Windham Road; J. Sauve, applicant: PZC File #1311

Chairman Goodwin opened the Continued Public Hearing at 7:12 p.m. Members present were Goodwin, Chandy, Hall, Holt, Lewis, Plante, Pociask, Rawn and Ryan, and alternates Marcellino and Westa, neither of whom were appointed to act. Linda Painter, Director of Planning and Development, noted the following communications received and distributed to members: a letter dated March 15, 2013 from The DEEP Bureau of Natural Resources-Wildlife Division; a 2/10/13 letter from Mark Reynolds, of Reynolds Engineering Services, LLC; and a 3/28/13 memo from L. Painter, Director of Planning and Development.

Rob Hellstrom, of Rob Hellstrom Land Surveying, and James Sauve were present. Hellstrom agreed to add the staff notes to the plans as highlighted in Painter's memo. There was discussion regarding the placement of the required driveway pull-off(s) and the desire to preserve a 26" oak tree. Several suggestions were made which the Commission will consider.

Chairman Goodwin noted no further questions or comments from the public or Commission. Plante MOVED, Ryan seconded, to close the Public Hearing at 7:20 p.m. MOTION PASSED UNANIMOUSLY.

Old Business:

a. New Subdivision Application, 85 & 87 Old Turnpike Road; Homeworks Properties, LLC; Owner & Applicant: PZC File #1315

Pociask disqualified himself. Westa was appointed to act. Holt MOVED, Rawn seconded, to deny the January 25, 2013 application (File # 1315) of Homeworks Properties LLC to subdivide property located in an RAR-90 zone at 85-87 Old Turnpike Road into two lots, as shown on submitted plans and described in other application submissions and as presented at Public Hearing on March 4, 2013. This denial action is taken because the proposed lots do not meet RAR-90 zone frontage requirements as contained in Article

VIII of the Zoning Regulations. Although Section 7.6 of the Subdivision Regulations and Article VIII authorize potential waivers of required frontages, the Commission has determined that the subject application has not suitably addressed the waiver criteria of Section 7.6 a or b. There are no physical or topographical constraints that necessitate a waiver of standard dimensional requirements. Accordingly, waivers are not granted and the subdivision is not in compliance with Sections 4.2 and 7.3 of the Subdivision Regulations. MOTION PASSED with all in favor except Ryan and Plante who were opposed and Pociask who disqualified himself.

- b. **Subdivision Application, 29 North Windham Road; J. Sauve, applicant: PZC File #1311**
After extensive discussion regarding the location of the driveway pull-off and preservation of the 26" oak tree, identified as a tree of significance, Rawn volunteered to work with staff on a motion for consideration at the next meeting.
- c. **Scenic Road Application, Brown's Road west of Storrs Road/Route 195; Jonathan Sgro, Applicant, PZC File #1010-9**
Item was tabled pending a 4/15/13 Public Hearing.
- d. **Special Permit Application, Efficiency Unit, 85 Birchwood Heights, M. Balsamo Owner & Applicant: PZC File #1316**
Item was tabled pending a 4/15/13 Public Hearing.

New Business:

- a. **Zoning Permit Applications for Storrs Center**
Market Square (MS-1 & MS-2), PZC File #1246-12; Town Square 3 (TS-3), PZC File #1246-13
Painter reviewed with the Commission both Zoning Permit Applications and noted the Downtown Partnership Public Hearing(s) are scheduled for April 3, 2013, starting at 7:00 p.m. at the Mansfield Fire Station on Stafford Road. Members expressed concern with the aesthetics of the concrete retaining wall on the east side of Market Square, as well as the peaks of the TS-3 Building.
- b. **Modification Request, Public Petroleum, 1659 Storrs Road, PZC File #1120**
This item was tabled until the next meeting to allow inclusion on the field trip and feedback from staff as to the appropriateness of handling this application as a Special Permit application rather than a modification request.

Mansfield Tomorrow | Our Plan ▶ Our Future:

Painter informed the Commission of the upcoming meeting dates and the status of committee vacancies. She stated that over 600 letters were mailed to businesses on file with the Town Clerk's office, as well as local realtors and multi-family property owners, in an attempt to encourage more involvement in this process from diverse age groups and differing perspectives. She distributed letters from interested individuals. Members reviewed these letters and appointed Robert Moskowitz, Kia Martinson, and Tom Burgess to the Economic Development Focus Group; and Wendy Kopp, Karin Lipinski, Penny Tavar, Lutz Real Estate Investments, Peter Millman, Brian McCarthy, Chunlong Liu and Alex Kebalo to the Housing Focus Group.

Reports from Officers and Committees: None noted.

Communications and Bills: None noted.

Adjournment: The Chairman noted a Field Trip for 4/10/13 at 4pm and declared the meeting adjourned at 8:22 p.m.

Respectfully submitted,
Katherine Holt, Secretary

DRAFT MINUTES
MANSFIELD INLAND WETLANDS AGENCY
Regular Meeting
Monday, April 1, 2013
Council Chambers, Audrey P. Beck Municipal Building

Members present: J. Goodwin (Chairman), B. Chandy, R. Hall, K. Holt, G. Lewis, P. Plante B. Pociask K. Rawn, B. Ryan
Alternates present: A. Marcellino, S. Westa
Alternates absent: V. Ward
Staff present: Grant Meitzler, Wetlands Agent

Chairman Goodwin called the meeting to order at 7:01 p.m.

Minutes:

03-04-13 - Regular Meeting- Ryan MOVED, Chandy seconded, to approve the 3-04-13 minutes as written. MOTION PASSED with Hall disqualified.

Communications:

The 3-12-13 Wetlands Agent's Monthly Business report was noted.

Old Business:

None.

Pending:

W1502 - Wetlands Violation Ordinance

Item was tabled– no new information.

New Business:

W1514 – South Windham Post & Beam Co. – Woodland Rd Subdivision Lot Re-issuance of Expired Permit

Ryan MOVED, Holt seconded, to receive the application submitted by South Windham Post and Bean Company (File #1514) under the Wetlands and Watercourses Regulations of the Town of Mansfield for a re-issuance of an expired Wetlands Permit, on property located at Woodlands Road, as shown on a map with a revised date of

4-28-05 and as described in application submissions, and to refer said application to staff and Conservation Committee, for review and comments. MOTION PASSED UNANIMOUSLY.

W1515 – Lowe – Puddin Lane – above ground pool in buffer

Ryan MOVED, Holt seconded, to receive the application submitted by Christopher and Ellen Lowe (File #1515) under the Wetlands and Watercourses Regulations of the Town of Mansfield for an above ground pool on property located at 86 Puddin Lane as shown on a map with a revised date of 3-26-13 and as described in application submissions, and to refer said application to staff and Conservation Committee, for review and comments. MOTION PASSED UNANIMOUSLY.

W1516 – Town of Mansfield – Bicentennial Pond – Trail Project- Request for Exemption

It was the consensus of the Agency that this item be added to the Field Trip Agenda and that it be continued to the next meeting for presentation and consideration.

Adjournment:

The Chairman set a Field Trip for 4/10/13 at 4pm and declared the meeting adjourned at 7:05 p.m.

Respectfully submitted,
Katherine Holt, Secretary

PAGE
BREAK

Memorandum:

March 12, 2013

To: Inland Wetland Agency
From: Grant Meitzler, Inland Wetland Agent
Re: Monthly Business

W1419 - Chernushek - hearing on Order

- 3.10.09: The hearing on the Order remains open and should continue until the permit application under consideration is acted upon.
(The Order was dropped on approval of the application required in the Order.)
- 4.30.09: Former rye grass seeding is beginning to show green. I spoke with Mr. Chernushek this afternoon who indicated health problems that delayed his starting but indicated he will be working this weekend. I will update on this Monday evening.
- 5.26.09: A light cover of grass growth has come in. Mr. Chernushek indicates health problems and two related deaths have delayed his start of work since the permit approval was granted. It appears that some light work has started. He has further indicated that he will start a vacation on June 22, 2009 to finish the work.
- 6.13.09: Work is underway.
- 6.21.09: Bulldozer work has been completed - finish work remains. The additional silt fencing has been placed along the northerly wetlands crossing, and the additional pipe under the southerly crossing has been installed. Remaining work includes finish grading along edges, spreading stockpiled topsoil, and establishing grass growth.
- 7.01.09: I spoke with Mr. Chernushek who indicated he expects work to be completed by September 1, 2009. (Site photo attached).
- 9.03.09: Mr. Chernushek has been working on levelling and grading. The formerly seeded areas have become fairly thick growth surrounding the central wet areas. He has further indicated that with the combination of weather and the slower moving of earth with the payloader compared to the earlier rented bulldozer has led him to contact contractors for earth moving estimates which have not yet been received. The site is not yet finished but has remained quite stable.
- 9.12.09: I met with Mr. Chernushek today and discussed again what his plans are for stabilizing this work site.
- 10.01.09: Mr. Chernushek indicated he has not heard back from the contractor he had spoken with about removing material, and is in progress of contacting others. In discussion is removal of material from the site either within the 100 cubic yard limit or obtaining a permit for such removal.
- 10.28.09: Mr. Chernushek has indicated he has made arrangements with DeSiato Sand & Gravel to remove 750 cubic yards of material. Staff is in the process of clarifying permit requirements.
- W1445 - Chernushek - application for gravel removal from site**
- 11.30.09: Packet of information representing submissions by Mr. Chernushek, Mr. DeSiato and myself is in this agenda packet as Mr. Chernushek's request for modification.
- 12.29.09: Preparation of required information for PZC special permit application is in progress. Tabling any action until the February 1, 2010 meeting is recommended.
- 1.12.10: 65 day extension of time received.
- 2.18.10: No new information has been received.

- 2.25.10: This application has been **withdrawn**.
- 6.30.10: As viewed from the adjacent property, the upstream and downstream areas have grown to a decent protected surface. I did not see indication of sediment movement.
- 10.26.10: A sale of the East portion of the Chernushek property has been in negotiation.
- 12.27.10: The property exchange has been completed. The owner is now the neighboring property owner Bernie Brodin. He has indicated his intention to stabilize the area as weather permits.
- 4.25.11: Mr. Brodin indicates he is starting with grading and spreading hay and seed to stabilize disturbed areas.

Mansfield Auto Parts - Route 32

- 3.28.12: On the way to see the car moved I found the payloader blocking the entrance drive to the rear area, with the mechanic under the hood. He indicated the new engine had stopped running on the way to move the remaining car. Inspection today showed the payloader in the same location.
- 5.01.12: Payloader remains in the same location with a bad motor.
- 5.17.12: Payloader and the one vehicle have been moved. There are no vehicles within 25' of wetlands.
- 6.22.12: Inspection - no vehicles are within 25' of wetlands.
- 7.10.12: Inspection - no vehicles are within 25' of wetlands.
- 8.16.12: Inspection - no vehicles are within 25' of wetlands.
- 9.19.12: Inspection - no vehicles are within 25' of wetlands.
- 10.05.12: Inspection - no vehicles are within 25' of wetlands.
- 11.01.12: Inspection - no vehicles are within 25' of wetlands.
- 11.20.12: Inspection - no vehicles are within 25' of wetlands.
- 12.13.12: Inspection - no vehicles are within 25' of wetlands.
- 1.14.13: Inspection - no vehicles are within 25' of wetlands.
- 2.25.13: Inspection - car storage areas are snowed in, not accessible.
- 3.12.13: Inspection - no vehicles are within 25' of wetlands.



CFL News

Volume 18, Issue 1—March 2013

Future Newsletters

In an effort to more effectively utilize our limited funds, CFL will be transitioning to electronic distribution of our newsletter beginning later in 2013.

To ensure that you continue to receive our newsletter and other bulletins, please provide us with your e-mail address. While we have some e-mail addresses, we do not have them for the majority of those who receive our print newsletter. Please send an e-mail to Pen-ny@CTLakes.org so that we may add you to our list. We will not sell or share your address. We have sent this newsletter to those e-mail addresses that we have. If you did not receive it check your spam folder and if it is not there, please send us your e-mail address.

We appreciate your support of the Connecticut Federation of Lakes in 2012.

INSIDE THIS ISSUE

- 2 State Responds to CFL's Comments on Draft State Plan
- 3 Phosphorus Information Meetings
- 4 CFL Annual Meeting and Election
Ice Safety

Busy Winter for CT Federation of Lakes

By Larry Marsicano, CFL President

With the exception of activities like ice skating and ice fishing, winters are typically not active times on our CT lakes. The same, however, does not hold true for board members of the CFL with regards to the work they do for the betterment of all of our lakes.

Late last year we prepared and submitted comments to the CT Office and Policy and Management who was coordinating the process of revising the States conservation and development policies plan. The plan serves as the official policy for the Executive Branch in matters pertaining to land and water resources conservation and development. State and local government and non-governmental agencies as well as the public in general had opportunity to comment on drafts of the plan. A summary of our comments and OPM's response to them can be found on their website at www.ct.gov/opm/lib/opm/igp/org/cdupdate/statewide_or_gs_comment_response.pdf.

One of our recommendations to OPM was that the "no-net loss" policy for wetlands should be extended to lakes and ponds. OPM responded by saying that nothing precludes municipalities from adopting similar policy pertaining to lake watersheds. Imagine if our lakes, shorelines and watersheds had similar protections as did our wetlands! Inside this edition of our newsletter CFL Board Member Tom McGowan explains how to approach your town to begin to upgrade the local policies pertaining to your watershed.

Late last year a number of board members from the CFL participated in two meetings held by the CT DEEP on phosphorus reduction in State waters. The first meeting focused on nonpoint sources and the second

on point sources of phosphorus. Presentations by CT DEEP and the EPA from both meetings can be found at

www.ct.gov/deep/cwp/view.asp?a=2719&q=474130&deepNav_GID=1654. In this edition of our newsletter Dr. Richard Canavan discusses some of the important aspects of the proposed statewide strategy. Knowing how to reduce phosphorus pollution in your lake is a must read for anyone serious about lake protection.

Last but not least, we have continued our efforts this winter to see that funds that were authorized by the 2007 State Legislature for the CT Lakes Grant Program be bonded by the Bonding Commission. You may recall last year that at our request CT DEEP Commissioner Esty put the request for funding of the Program in his request to the Bonding Commission. We then wrote Governor Malloy who chairs the Bond Commission requesting that the Commissioner's request make it to the agenda of one of the Commission meetings. We never did hear from the Governor nor did the request make it on the agenda of meetings held in 2013.

We have started the process once again by asking Commissioner Esty to put the CT Lakes Grant Program in his request to the Bond Commission this year. Stay tuned to our website at www.ctlakes.org to learn of the Commissioner's response when we receive it, to keep up on other progress and for our call for help in encouraging the Governor to put the Program on the Bonding Commission agenda, should we need it.



State Responds to CFL's Comments on Draft State Plan

Making Your Lake and Watershed a Conservation Priority

By Tom McGowan, Executive Director Lake Waramaug Task Force, Inc.

We all want to see our lake protected from diminished water quality, infestation with invasive weeds and excessive algae growth. Also high on our wish list is preservation of the scenic and important conservation resources and open spaces in our lake watershed.

One of the first and most important steps toward protection of your lake, especially its water quality and open space, is to insure that it is recognized as a priority for conservation in your local town plan and the State Plan.

If you have not already done so your lake association should begin working with your local Planning Commission. Many town plans rank lakes as a high conservation priority. Looking through other town plans you can gather good ideas on formulating a conservation policy that fits your lake and town.

According to State requirements your Town Plan must be updated at least once every 10 years. During the 10 year update process, or at any time, your Town Plan can be amended to include citing your lake as a conservation priority. Even if your Town Plan has a conservation ranking for your lake you should work to polish this policy and see to it that specific lake protection implementation steps are included.

This will help insure that town land use regulations are designed to protect your lake, especially if the Town Plan provides details on:

WHAT needs to be done,
WHEN it needs to be completed, and
WHO in the town is responsible for getting this work done.

A conservation designation will also help if your town seeks State or other grant funds to assist in the conservation of land in your lake watershed or for lake restoration improvements.

Based upon the State's response to our questions on the draft 2013-2018 State Plan we were told that the State will accept "any data" that supports a request by a town to have your lake shown as a local conservation priority on the State Plan.

The best evidence you can provide to the State is a high conservation ranking for your lake in your Town Plan. But you must be certain to send this information to:

Name: Daniel Morley

Agency: Office of Policy and Management

Address: 450 Capitol Avenue, MS #54ORG

Hartford, CT 06106-1379

Fax: 860-418-6486

E-Mail: Daniel.Morley@ct.gov

Here again a conservation designation on the State Plan should greatly enhance the chances that your lake will rank favorably in seeking lake improvement grant funds.

The 2013-2018 STATE PLAN OF CONSERVATION AND DEVELOPMENT

HAS 6 GROWTH MANAGEMENT PRINCIPLES THE 4TH PRINCIPLE IS:

To Conserve and Restore the Natural Environment, Cultural and Historical Resources, and Traditional Rural Lands.

Under this principle are two important lake related State Agency Policies. I recommend that the Town Plan policies for protection of your lake be consistent with this principle and the following State policies.

T O P R O T E C T the ecological, scenic and recreational values of lakes, rivers and streams by promoting compatible land uses and management practices in the vicinity of these resources.

T O U T I L I Z E the landscape to the extent practical and incorporate sound stormwater management design, such as low impact development techniques, in existing and new development to maintain or restore natural hydrologic processes and to help meet or exceed state and federal water quality standards, so that the state's waters can support their myriad functions and uses.

(NOTE: The "state's waters" include its lakes and ponds)



DEEP Holds Phosphorus Information Meetings in Hartford

by Dr. Richard Canavan, Environmental Scientist CME Associates

People are talking phosphorus in Connecticut, which is good news for our state's lakes. In this article I will give a brief background about why we are having this discussion and why the CFL intends to stay involved. Remember that phosphorus is often the limiting nutrient in lakes, where its availability limits how much al-

gae growth can occur. Human activity around lakes increases phosphorus concentrations which impacts water quality. Being careful about actions that increase phosphorus loading to freshwater is a big part of improving the water quality at your lake.

What is prompting the recent discussions? The real motivating factor in discussing phosphorus is coming from the US Environmental Protection Agency (EPA), who recognizes nutrient enrichment as one of the top causes of water quality impairment. The EPA has been telling Connecticut's Department of Energy and Environmental Protection (DEEP) that the permits they issue to sewer treatment plants under the Clean Water Act need to have lower phosphorus limits. In order for sewer treatment plants to reduce phosphorus discharges, costly upgrades to the existing treatment facilities will be needed. Municipalities that are potentially facing expensive sewer plant upgrades successfully lobbied the state legislators to pass Public Act 12-155, An Act Concerning Phosphorus Reductions in State Waters, which required DEEP to hold public meetings. On November 28, 2012 and December 6, 2012 the CT DEEP held public information meetings about phosphorus. The first meeting was about nonpoint sources and the second was about point sources. Several CFL board members attended the public information meetings and we spoke during the discussion periods to make sure lake issues were included.

So if politics and money is the answer, can I tune out now? Even the most idealistic of us can get a little worn down by the process but this discussion does represent an important opportunity for CT lakes even if the focus of the discussion will be on sewer treatment plants. Here are some positives that are likely to come out of the debate between the sewer treatment plants, DEEP and EPA.

For lakes with sewer treatment plants in their watershed reducing phosphorus limits in permits is a serious issue. There aren't too many CT lakes that would fall into this group. They are impounded rivers such as Lake Zoar and Lake Lillinoah on the Housatonic River or West Thompson Reservoir on the Quinebaug River. Some of the upstream sewer plants are out of state, although EPA is acting across New England on the issue of nutrient reduction.

There will be a discussion and analysis of the sources of phosphorus to fresh water in our environment. Part of the justification for the expensive upgrades at the point discharges is that it will still provide the 'best bang for the buck' for phosphorus removal per dollar invested despite the high implementation costs. Others will argue that as you lower discharge concentrations the costs per unit phosphorus continue to increase with limited benefits. Both the DEEP and the municipalities opposed to lower wastewater discharge limits will be examining this topic to look for alternative methods to improve water quality. The response to phosphorus reduction may include non-point source removal, if methods can be found that are cheaper but produce the same phosphorus removal results. Hopefully the examination of these alternatives will lead to action both in the areas of major point sources such as wastewater treatment plants and in non-point source reduction. DEEP is planning studies to look at the influence of phosphorus on algae communities in streams. The effort spent with this analysis will hopefully lead to numeric phosphorus standards for lakes.

The non-point source discussions at the meetings dealt with many topics we have written about in our newsletter including the recent fertilizer ban, stormwater, and on-site septic systems. The impacts of high phosphorus concentrations in lakes include blue-green algae blooms that have made news in Connecticut and throughout the country. In comments from the CFL members at the meeting we noted that we have asked unsuccessfully to get lakes funding released by the Bond Commission that was authorized by the 2007 Legislature, and that increasing the coverage of the MS4 stormwater program can help non-point source areas near lakes.

The CFL will continue to monitor the discussions regarding phosphorus and speak out for ways to promote phosphorus reduction to all our lakes. I encourage you to do the same. For a good place to start, I highly recommend visiting www.ct.gov/deep/phosphorus where you can look at the slide presentations provided at the meetings, comments of those who attended, Public Act 12-155 and find links to other related publications.



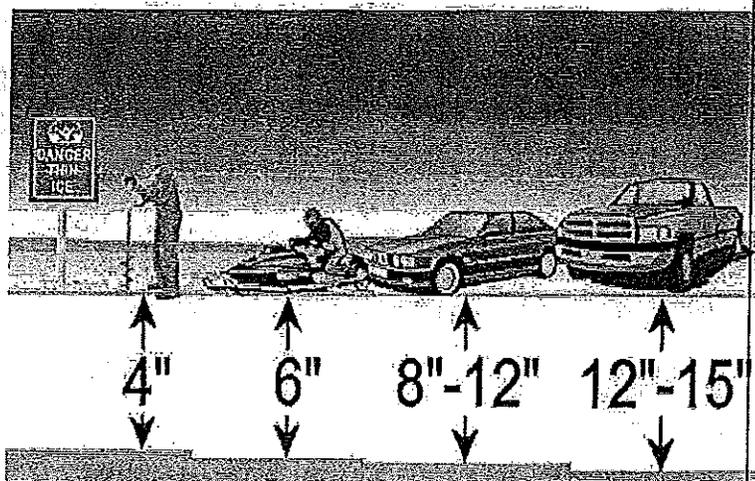
CFL Annual Meeting and Election of Directors

The annual meeting of the CFL will be held April 17 at 7PM at Northeast Utilities (entrance near the credit union). Please join us for an opportunity to meet the board and fellow members. It is a great opportunity to provide input into the direction of the CFL, get your questions answered and network with others interested in lakes.

Current directors being nominated for returning terms on the Board are: Connie Trollie, Larry Marsicano, Bruce Fletcher, Richard Canavan, George Walker, Chris Mayne, George Knoecklein, Penny Hermann, Bruce Lockhart, George Benson, Tom McGowan, John Burrell and Maryellen DiLuzio.



Ice Safety



About the Connecticut Federation of Lakes

Everyone agrees that healthy lakes are highly valued natural assets whose beauty and recreational offerings make them irresistible to so many each season of the year. Towns with attractive lakes annually collect higher property tax revenues and benefit each year from months of "trickle down economics". These precious resources are fragile, and need constant monitoring and preventive and corrective programs. So it is no wonder that individuals; families, lake associations, towns and states proactively work to help their lakes

and recognize that unprotected lakes may become damaged beyond repair.

The Connecticut Federation of Lakes (CFL) was formed in 1995 to help individuals, steering committees and established lake associations with needed guidance, advice and support. In addition, the CFL fosters an alliance of Connecticut's many pond and lake protective organizations so that Connecticut lakes can speak with a unified voice.

The CFL board members are dedicated volunteers who have first hand experience in dealing with lake and association issues. Since some board members are professional lake managers and others have masters & doctorate credentials in the science of limnology, the CFL can and does help. Recently the CFL helped pass legislation geared to curb the establishment of invasive aquatic plants in Connecticut. Boat launch monitoring, on site waste water management guidelines, and model municipal regulations and ordinances for watershed protection are current initiatives.

The CFL publishes newsletters for members full of technical information, lake profiles, management tips and news from the DEEP. Chuck Lee of the DEEP, an environmental analyst in the Bureau of Water Protection and Land Reuse, 860-424-3716, attends all the CFL Board meetings. The CFL works with the Governor to designate the annual Lakes Awareness Week and hosts educational conferences for CFL members and friends. In addition the CFL is an active full participant in NEC-NALMS (the New England Chapter of the North American Lake Management Society). We participate in their programs annually and host the 3 day conference on a rotating basis.

Contact the CFL

For more information regarding the Connecticut Federation of Lakes, visit our web site at www.ctlakes.org, contact Penny@Ctlakes.org, or write to P.O. Box 216, Windsor, CT 06095.

CFL Board

Larry Marsicano, President – Candlewood Lake
Richard Canavan, Vice President – Limnologist
Penny Hermann, Secretary, – Lake Williams
George Walker, Treasurer - Lake Lillinonah
George Knoecklein. – Limnologist
George Benson, - Limnologist

John Burrell, - Columbia Lake
Mary Ellen Diluzio, - Bashan Lake
Bruce Fletcher, – Bashan Lake
Bruce Lockhart, - Certified Lake Manager
Chris Mayne, - Certified Lake Manager
Tom McGowan, - Lake Waramaug
Connie Trolle – Bantam Lake

Newsletter Committee

The Newsletter Committee welcomes your input and your articles. Please send suggestions or articles to CFL, P.O. Box 216, Windsor, CT 06095 or e-mail to Penny@Ctlakes.org. The newsletter committee includes: Bruce Fletcher, Penny Hermann, George Knoecklein.

Join the CFL

Membership is Free! Simply fill out and mail the form below or go to our website and fill out a brief form there. Lakes in Connecticut need to receive more preventive medicine. In other New England states, the citizenry and legislators have pushed through bigger and better programs for lakes. If you treasure your lake, please join the CFL. With your help the CFL will continue to make a difference locally and statewide.

CFL Application

Yes! I want to be a member of the CFL!

Optional Tax Deductible Donation (membership is free)

Name _____

Address _____

Telephone _____

E-mail _____

Lake _____

Whom may we thank for your referral?

Mail to: CFL, P.O. Box 216, Windsor, CT 06095



Connecticut Federation of Lakes

February 21, 2013

Officers:

Larry Marsicano
President
New Milford

Rick Canavan
Vice President
Woodstock

Penny Hermann
Secretary
Lebanon

George Walker
Treasurer
Brookfield

Directors:

George Benson
Newtown

John Burrell
Columbia

Maryellen DiLuzio
Windsor

Bruce Fletcher
New Britain

George Knoecklein
Mansfield

Bruce Lockhart
New Milford

Chris Mayne
East Haven

Tom McGowan
Litchfield

Connie Trolle
Morris

CFL
P.O. Box 216
Windsor, CT 06095

Dear CT Lake Steward:

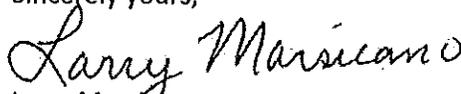
If you read our December newsletter or if you have visited our website, you may have learned that we changed our membership format. Instead of an organization with dues-paying members, we are opening membership up by eliminating dues in order to grow our numbers. A larger membership, representing more CT lakes (see back side) will be invaluable in advancing lake-improving initiatives in the future. A larger membership will also be vitally important as the CFL looks to the future as our lakes continue to face increasing environmental challenges.

Likewise by reading our newsletter, including this edition, or visiting our website, you may have learned of our past and recent contributions to improvements of lake water quality, protections of our CT lakes and empowerment of lake communities across the State with important information and resources that will provide ideas and tools to help you to take important steps at your own lake. In this newsletter, for example, CFL board members wrote on ways lake groups can take advantage of advice from the State Office of Policy and Management to improve protections of your lakes and watersheds as well as update you on the new phosphorus-reduction policies of the CT DEEP.

We have worked and advocated for legislative measures, like stricter invasive species laws, that benefit our lakes and lake communities. In addition, we have provided conferences and "road shows". There was and continues to be our work on state policies like the State's Conservation and Development Plan that put the word "lake" in that state-level policy document for the first time. There was the Capacity-Building Grant Program which provided a number of CT lake groups funding for creating or improving your own lake association or for small projects. The point here is that the volunteer board of the CFL has and continues to work for the betterment of all lakes, reservoirs and ponds across the State.

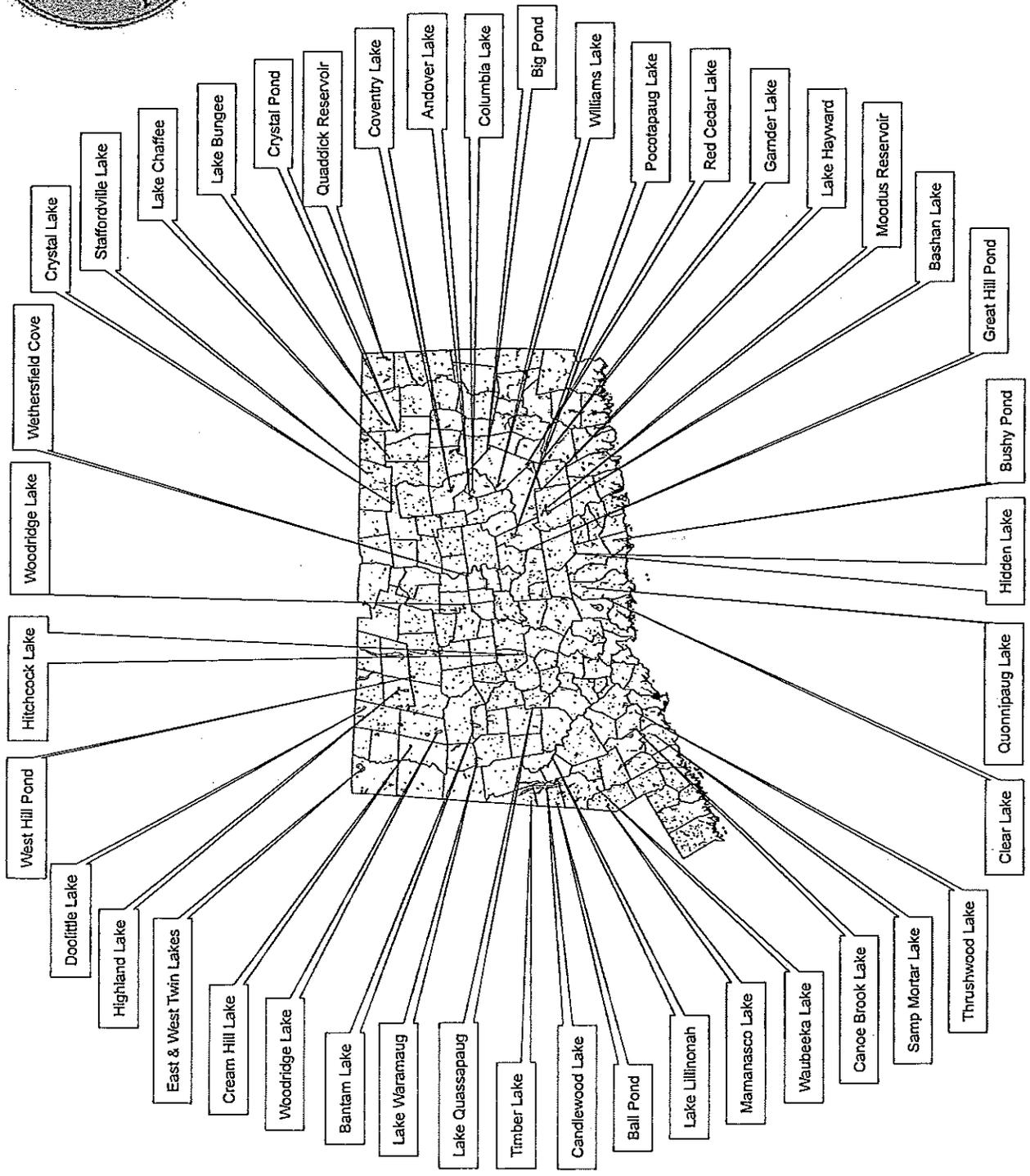
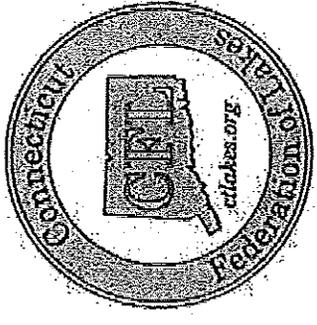
But please, we will still need your financial support to continue our important stewardship. So instead of sending out reminders to pay annual dues, we will send out from time to time appeal letters... like this one. So please consider giving what you can and rest assured that the CFL will continue to work toward the betterment of our CT lakes. Your donations are tax deductible.

Sincerely yours,


Larry Marsicano
President, CFL

P.S. Be sure to register online to become a member of the CFL. The website is www.CTLAKES.org. It's free!

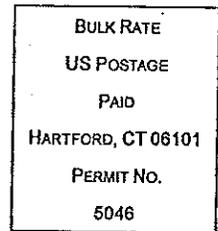
Is your lake on our map?



The map shows names and locations of lakes in Connecticut who were represented by a dues-paying members for 2012, including our 12 lifetime members, associations, and corporate members. If your lake is not on the map and should be or you want it to be, go to our website at www.CTLakes.org and use the online membership registration form. It's that easy. The CFL would like to express our sincere thanks to all those who were members in the past and are not now. Get your lake back on our map by registering. Let's grow our numbers! Disclaimer: This map may not represent all the lakes that have or are represented by members.

Connecticut Federation of Lakes
PO Box 216
Windsor, CT 06095

Address Service Requested



3-DIGIT 062 3
Inland Wetlands
Beck Municipal Bldg.
4 S Eagleville Rd
Storrs CT 06268 2574

Calendar

Board Meetings – 3rd Wednesday of January,
March, April, May, June, September, and October
7PM at Northeast Utilities, Newington, CT

Annual Meeting and election of Directors and
Discussion of issues of interest to CFL members
April 17, 2013 at Northeast Utilities, Newington, CT.



79 Elm Street • Hartford, CT 06106-5127
Employer

www.ct.gov/deep

Affirmative Action/Equal Opportunity

**Notice of Tentative Determination to Approve
NPDES Permit Renewal
Applicant: University of Connecticut
Application No. 201103700
City/Town: Mansfield**

The Commissioner of Energy and Environmental Protection hereby gives notice that a tentative determination has been made to approve the following application submitted under Section 22a-430 of the Connecticut General Statutes to renew a permit to discharge into the waters of the state.

Applicant's Name and Address: University of Connecticut, 31 LeDoyt Road, Box U-38 Storrs, CT 06268

Contact Name and Phone No.: Jason Coite 860-486-9305

Type of Permit and #: NPDES – CT0101320

Type of Facility: Domestic wastewater treatment

Facility Location: 31 LeDoyt Road

Facility design capacity: 3.0 million gallons per day

PROPOSED ACTIVITY/FACILITY

The applicant has previously received a permit from the Department of Energy and Environmental Protection ("Department") authorizing the discharge of up to an annual average daily design flow of 3.0 million gallons a day of advanced treated municipal wastewaters to the Willimantic River. The applicant has submitted an application to renew its existing permit. This renewal application is the subject of this notice.

THE DRAFT PERMIT

The Department has prepared a draft permit consistent with the tentative determination to approve University of Connecticut's renewal application. This draft is available on the public participation section of the Department's website. In accordance with Sections 22a-430-4(l) and 22a-430-4(r) of the Regulations of Connecticut State Agencies (RCSA), the draft permit contains effluent limitations that meet Connecticut's Water Quality Standards for the following: Ammonia, Aquatic Toxicity, Biochemical Oxygen Demand (5 day), chlorine, cyanides, dissolved oxygen, Escherichia coli, fecal coliform, flow, pH, total phosphorus, total suspended solids and zinc.

INFORMATION REQUESTS/PUBLIC COMMENT

Interested persons may obtain copies of the application from the applicant at the above address. The application and supporting documentation are available for inspection at the Department of Energy and

Environmental Protection, Water Protection and Land Reuse, 79 Elm Street, Hartford, CT from Monday Friday from 8-4 and at other times by appointment. Questions may be directed to Joseph Higgins of the Municipal Facilities Section at 860-424-3584.

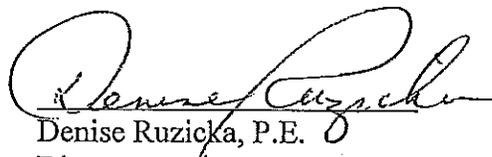
All interested persons are invited to express their views on the tentative determination concerning this application. Written comments on the application should be directed to Joseph Higgins, Planning and Standards Division, Water Protection and Land Reuse Bureau, Department of Energy and Environmental Protection, 79 Elm Street, Hartford, CT 06106-5127, no later than thirty (30) days from the publication date of this notice. Comments regarding this application may be submitted via electronic mail to: joseph.higgins@ct.gov.

PETITIONS FOR HEARING

The Commissioner may hold a public hearing prior to approving or denying an application if in the Commissioner's discretion the public interest will be best served thereby and shall hold a hearing upon the receipt of a petition signed by at least twenty-five persons. Any petition for a hearing should include the application number noted above and also identify a contact person to receive notifications. A petition may also identify a person who is authorized to engage in discussions regarding the application and, if resolution is reached, withdraw the petition. Original petitions must be *mailed or delivered* within the comment period noted above to: DEEP Office of Adjudications, 79 Elm Street, 3rd floor, Hartford, 06106-5127. Petitions cannot be sent by fax or email. For additional information go to www.ct.gov/deep/adjudications. If a hearing is held, notice of such hearing will be published at least thirty days before any hearing is held.

Dated:

MAR 01 2013



Denise Ruzicka, P.E.
Director
Planning and Standards Division
Bureau of Water Protection and Land Reuse

The Department of Energy and Environmental Protection is an Affirmative Action/Equal Opportunity Employer. Persons with a disability who may need information in an alternative format should contact the ADA Coordinator at 860-424-3194 or at DEEP.HRmed@CT.Gov. Persons who are limited English proficient who may need information in another language should contact the Title VI Coordinator at (860) 424-3035 or at DEEP.aoffice@ct.gov. Persons who are hearing impaired should call the State of Connecticut relay number 711. Discrimination complaints should be filed with the Title VI Coordinator.

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Friday, April 12, 2013

STATE OF CT

Notice of Tentative Determination to Approve Applications for Diversion of Water Permit, Inland Wetlands and Watercourses Permit and 401 Water Quality Certification And Intent to Waive Public Hearing Applicant: University of Connecticut Application Nos.: DIV - 201205385, IW-201205383, WQC- 201205382 Town: Mansfield The Commissioner of the Department of Energy and Environmental Protection (DEEP) hereby gives notice that a tentative determination has been reached to approve the following applications submitted under Section 401(a)(1) of the Federal Clean Water Act (the "Act") for the certification of activities, including but not limited to the construction or operation of facilities, which may result in any discharge into waters of the state; Section 22a-39 of the Connecticut General Statutes for a permit to conduct a regulated activity in an inland wetland or watercourse; and Section 22a-368 of the Connecticut General Statutes for a permit to divert waters of the state. The Commissioner also gives notice of intent to waive the requirement for public hearing pursuant Sections 22a-39 and 22a-371 of the Connecticut General Statutes provided that a hearing may be held on the Inland Wetlands and Watercourses and/or Diversion of Water applications if the Commissioner determines that the public interest will best be served thereby, and shall hold a hearing on the Inland Wetlands and Watercourses and/or Diversion of Water application upon receipt of a petition. See below for petition requirements. Application No.: DIV- 201205385, IW-201205383, WQC-201205382 Applicants Name and Address: University of Connecticut 31 LeDoyt Road U-3055 Storrs, CT 06269-3055 Contact Name and Phone No.: Richard A. Miller, 860-486-8741 31 LeDoyt Road U-3055 Storrs, CT 06269-3055 Type of Permits: Diversion of Water, Inland Wetlands and Watercourses and 401 Water Quality Certification Project Description: North Hillside Road Extension / Research and Technology Park Project Location: From the existing terminus of North Hillside Road 3,400 feet to Route 44, Mansfield Waters: Cedar Swamp Brook PROPOSED ACTIVITY The proposed activities include the following: 1) construction of a 3,400-foot, 2-lane, 32-foot wide road through land adjacent to the University of Connecticut's core campus known as the "North Campus" including three wetland crossings and stormwater treatment structures, 2) widening of Rte. 44 at terminus of North Hillside Rd. for turning lanes, and 3) creation of six conceptual development envelopes on six parcels of future research and technology space. The proposed activity will affect 0.53 acres of inland wetlands and watercourses. COMMISSIONER'S FINDINGS Pursuant to Section 22a-371 of the Connecticut General Statutes, the Department has found that application number DIV- 201205385 is complete and has determined that the proposed diversion 1) is necessary, 2) will not significantly affect long-range water resources management, and 3) will not impair proper management and use of the water resources of the State. Pursuant to Section 22a-39 of the Connecticut General Statutes, the Department has determined that the regulated activity is not likely to have a significant impact on the wetlands or watercourses and hereby publishes its intent to waive the requirement for public hearing. Accordingly, the Commissioner hereby publishes notice of intent to waive the requirement for a public hearing, provided if the Commissioner receives a petition requesting a hearing signed by 25 persons on or before the deadline for receipt of written comments specified at the end of this notice, a hearing will be held regarding the diversion application. Notice of any hearing will be published in a newspaper having general circulation in the area where the proposed diversion will take place or have effect. Application number WQC-201205382 has been evaluated for compliance with the applicable provisions of sections 301, 302, 303, 306 and 307 of the Act and the Water Quality Standards and Criteria of the State of Connecticut adopted pursuant to Section 22a-426 of the Connecticut General Statutes. INFORMATION REQUESTS/PUBLIC COMMENT Interested persons may obtain copies of the application from the applicant at the above address. The application and supporting documentation are available for inspection at DEEP, Bureau of Water Protection and Land Reuse, 79 Elm Street, Hartford, CT from 8:30 am to 4:30 pm Monday through Friday by contacting Stefani Battles of the Inland Water Resources Division at (860) 424-3019. Questions may be directed to Doug Hoskins, of the Inland Water Resources Division at (860) 424-4192. All interested persons are invited to express their views on the tentative determination concerning this application. Written comments on the application should be directed to Doug Hoskins, Bureau of Water Protection & Land Reuse, Inland Water Resources Division, Department of Energy and Environmental Protection, 79 Elm Street, Hartford, CT 06106-5127, no later than thirty (30) days from the publication date of this notice. Comments regarding this application may be submitted via electronic mail to: Douglas.Hoskins@ct.gov. PETITIONS FOR DIVERSION HEARING Petitions for a hearing on the Diversion application must be signed by 25 persons, include the application number noted above and also identify a contact person to receive notifications. Petitions may also identify a person who is authorized to engage in discussions regarding the application and, if resolution is reached, withdraw the petition. Original petitions must be mailed or delivered within the comment period noted above to: DEEP Office of Adjudications, 79 Elm Street, 3rd floor, Hartford, CT 06106-5127. Petitions cannot be sent by fax or email. For additional information go to www.ct.gov/deep/adjudications April 5, 2013 Publication Date Cheryl A. Chase, Director Inland Water Resources Division Bureau of Water Protection and Land Reuse ADA PUBLICATION STATEMENT The Department of Energy and Environmental Protection is an Affirmative Action and Equal Opportunity Employer that is committed to requirements of the Americans with Disabilities Act. To request an accommodation call 860-424-3194, or email deep_hrmed@ct.gov.

Appeared in: *Willimantic Chronicle* on Friday, 04/05/2013[Printer-friendly version](#)[E-mail to a friend](#)[Home](#) | [Privacy Policy](#) | [Terms of Use](#) | [About Us](#) | [Contact Us](#)

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PAGE
BREAK



Annual Dinner Meeting April 18 Will Be Trust's 47th Such Assembly

The Wilderness Lake Campground in Willington will once again be the site of the Joshua's Trust annual meeting when members convene on Thursday, April 18, for the 47th time.

David Wagner, a former Trust president and rare species biologist at the University of Connecticut, will be the featured speaker; and of course there will be food.

Tom O'Connor will again cater, providing a menu of appetizers, stuffed chicken breast, rice pilaf and accompaniments, and fruit cobbler for dessert. Wine, water and coffee will also be served; and vegetarian and gluten-free options will also be available for those who reserve them.

The Wilderness Lake Campground and Resort is located at 150 Village Hill Road in Willington. Village Hill Road, off Route 32 just north of the I-84 underpass.

Dinner begins at 6 p.m., followed by the annual meeting and the speaker.

Reservations are essential and must be received by April 11. The cost is \$25 per person. As this event is quite popular, we encourage you to book early to avoid disappointment. (You can use the reservation form on the back

page of this newsletter.)

Dr. Wagner, from UConn's Department of Ecology and Evolutionary Biology, is the author of some very popular books on butterflies and moths. He will speak on the role of land trusts in protecting threatened species.

His talk, entitled "Joshua's Trust Lands, Imperiled Species, and Stewardship," will address in particular the endangered species such as the Frosted Elfin butterfly

found on Joshua's Trust's lands and at Mansfield Hollow.

Focusing on historical and geographical factors, Dr. Wagner will make a case for stewardship that concentrates on restoration rather than just preservation.



Dr. David Wagner

Columbia: Open Space Not A Big Funding Priority

By Nancy Silander

The entrance to the Utley Hill Preserve in Columbia vividly demonstrates the pull in the town between open space and development.

The path is bordered for the first 100 yards or so by a large home with surrounding lawn, and on the other by a private gravel drive. It sits atop a marsh, the east side of which is protected, while the west side is not.

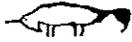
Columbia has seen exponential growth in the past 50 years, developing from a rural to a suburban town as its population has grown from just over 800 to over 5,000. Although the growth has slowed somewhat since 1990, every year continues to see an increase.

Over half of the town is undeveloped, but only 2 percent is permanently protected. Less than 10 percent is open space owned by the town, state, or a land trust, or has deed restrictions on its development. Approximately 20 percent of the forest and agricultural lands have reduced assessments, but they are not protected from development.

Although the 2006 Plan of Conservation and Development includes an Open Space account, according to Ann Dunnack, the chair of the Columbia Open Space Committee, it has been "unfunded by the town [the past] ten years except for fees in lieu of open space set aside for development."

Continued on Page Three

Reminder: If you haven't paid your 2013 membership dues, it's not too late.



Joshua's Tract Conservation And Historic Trust, Inc.

P.O. BOX 4
MANSFIELD CENTER, CT 06250
Email: joshuastrust@snet.net
www.joshuaslandtrust.org

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Joshua's Tract Conservation and Historic Trust was formed in 1966 to receive gifts of money and land, or to buy land of historic, aesthetic, or scientific value, for the benefit of future generations.

The Trust protects over 4,100 acres in the region, maintains trails which are open to the public, and publishes *The Joshua's Tract Walk Book*.

The office is located in the historic Eagleville Schoolhouse, South Eagleville Rd., in Mansfield.

Office hours: Thurs. 1:30-3:30 pm.
Phone: 860-429-9023



The accreditation seal recognizes land conservation organizations that meet national standards for excellence, uphold the public trust and ensure that conservation efforts are permanent.

While Some Things Change, Other Things Still Hold True

In my last column I wrote about change, specifically how Nature changed my landscape.

In reflection I realized that whether I like the change or not, there is nothing I can do about it except wait. Wait for the new growth of trees which will come eventually and the landscape will change... again.

What is it about change that so many people don't like?

Is it the interruption to the rhythm of their lives, the disinclination to accept that not everything

is under their control, the belief that the old way is best? How many times have you heard someone say it was better in the old days, that it was more fun?

I have heard people say that very same thing about the Trust.

And, since I am enjoying my association with the Trust, it makes me wonder what made it more fun then. Is it that changes have been made as we have grown older?

Yes, we have more land. We have more members. We have more resources and more committees and

more activities. We have more volunteers, more stewards, more trails, more monitors.

We have more reports. We have to keep records and make sure our files are in order.

Darn, we have more policies and procedures and financial controls. But are these really changes or do

they more accurately represent growth, a natural progression during the almost 50 years we have been a land trust?

One does expect changes as we grow. After

all, how many of us look the same as we did almost 50 years ago?

There is one thing that has not changed or grown older -- our mission and our core: conserving and protecting land. We started doing that in 1966 and we are still doing it in 2013.

I'm not a betting person, but I will wager that our volunteers today are having just as much fun and enjoying their association with the Trust as did all those who came before.

So we haven't changed. Nor has my landscape -- not in the long run.

REFLECTIONS ON THIS AND THAT

By Allison
Burchell-Robinson

Joshua's Trust President

Beer And Wine Tasting Set For Sunday, May 19

Our annual wine and craft beer tasting, generously supported by Bombadil's Spirit Shop in the Mansfield Big Y Plaza, will take place at the home of Jane and Robert Moskowitz on Sunday, May 19, from 4-6:30 p.m.

Mark your calendars now for discovering new wines, beers and liqueurs. More details will be available in the early May edition of the newsletter or on the web site.

Trust Advocates For Open Space

Continued from Page One

Open space helps to stabilize the tax rate and to keep the character of the town its citizens want. Dunnack noted that Columbia's water and natural resources are part of its uniqueness that is not always well-appreciated or understood.

However, with Trust member Joan Hill's help, they have been reaching out to the local politicians to inform them of the importance of open space.

Lately, several farmers have been working with the Department of Agriculture, as well as with Joshua's Trust, to permanently protect significant amounts of acreage through conservation easements as well as the purchase of development rights by the state.

In May, 2011, the Joshua's Trust Board voted to contribute \$15,000 to the town of Columbia to help support the purchase of the development rights for the Szegda Farm on Rt. 66

The three local properties that Joshua's Trust helps to protect: the Utley Hill Preserve, Potter Meadow and the Goldberg parcel are a start.

But, as Dunnack remarked, there has to be constant vigilance with all the stakeholders, and it has to be grassroots, beginning with the landowners as well as with the townspeople. Columbia continues to have many opportunities to protect its open space and the rural character its residents value.



The entrance to Columbia's Utley Hill Preserve

Potter Meadow Snow Provides Insight Into Animal Population

Potter Meadow in Columbia provided an appropriate snowy surface for discovering animal tracks -- much to the delight of the children and adults who accompanied Heather Phillips on a cold President's Day hike.

Thanks to the deep snow, the walkers easily found evidence of a number of animals living in or near the meadow, including coyote, rabbit, deer and weasel.

Along the way, Heather also hid pictures of other animal tracks often found in eastern Connecticut, so the participants could add less common ones to their repertoire.

Potter Meadow is accessible from Commerce Drive off Route 66. The 34-acre site lies in the floodplain of the Williamantic and Ten Mile rivers.



Jumpin' Junipers, Hill, that was some mighty fun — and profitable — jazz

The Juniper Hill Jumpers Jazz Band, under the direction of former Trust president and trombonist Hill Bullard, entertained a crowd of Joshua's Trust members and friends for a couple of hours on Feb. 3 at Knowlton Hall in Ashford.

It didn't take long for the band to get the crowd clapping and dancing. Many were impressed by the diversity of the band's ages, from 40 to over 90 years old.

The event raised almost \$1,000 for the Trust. The next benefit concert will be announced in the late spring.

Join us once again — or for the first time — at the annual dinner

If you haven't attended before, here's your chance to rub elbows with people who, like you, appreciate the importance of open space and preserving nature's beauty. If you are a regular Joshua's Trust dinner guest, welcome back! Use the form below to make your reservation.

This year's shindig is April 18 at the Wilderness Lake Campground and Resort in Willington.

Joshua's Trust Annual Dinner Reservation Form

Please submit by April 11, 2013

Name: _____

Telephone: _____ E-mail address: _____

Please make reservations for _____ people @ \$25 each: Total \$ _____.

Number of Chicken entrees _____ Vegetarian _____ Gluten Free _____

I cannot attend, but would like to contribute \$ _____

Make check payable to: Joshua's Trust

Mail to: Annual Dinner, Joshua's Trust, P.O. Box 4, Mansfield Center, CT 06250-0004.



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